



City of Ukiah

ZONING ADMINISTRATOR

Thursday, October 20, 2016; 10:00 p.m.
Conference Room 1



AGENDA

1. CALL TO ORDER **Conference Room 1, Ukiah Civic Center**
300 Seminary Avenue, Ukiah

2. SITE VISIT VERIFICATION

3. APPROVAL OF MINUTES

4. COMMENTS FROM AUDIENCE ON NON-AGENDA ITEMS

The Zoning Administrator welcomes input from the audience. In order for everyone to be heard, please limit your comments to three (3) minutes per person and not more than ten (10) minutes per subject. The Brown Act regulations do not allow action to be taken on audience comments.

5. APPEAL PROCESS

All determinations of the Zoning Administrator regarding minor discretionary planning permits are final unless a written appeal, stating the reasons for the appeal, is filed with the City Clerk within ten (10) days of the date the decision was made. An interested party may appeal only if he or she appeared and stated his or her position during the hearing on the decision from which the appeal is taken. For matters heard at this meeting, the City Clerk will accept appeals no later than **Monday, October 31, 2016 at 5:00 p.m.**

6. VERIFICATION OF NOTICE

7. PUBLIC HEARING

- A.** Request for Review and Recommendation on a Minor Site Development Permit to expand the existing grave site area to include: live landscaping and an open Memorial Pavilion at 940 Low Gap Road; (Russian River Cemetery District).
APN 001-020-63 File No.: Munis 2130-SDP-ZA.

8. ADJOURNMENT

The City of Ukiah complies with ADA requirements and will attempt to reasonably accommodate individuals with disabilities upon request. If possible, please contact the City of Ukiah at (707) 463-6752 or (707)463-6207 at least 72 hours prior to the meeting time.



Community Development and Planning Department

300 Seminary Avenue

Ukiah, CA 95482

planning@cityofukiah.com

(707)463-6203

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DATE: October 20, 2016

TO: Zoning Administrator

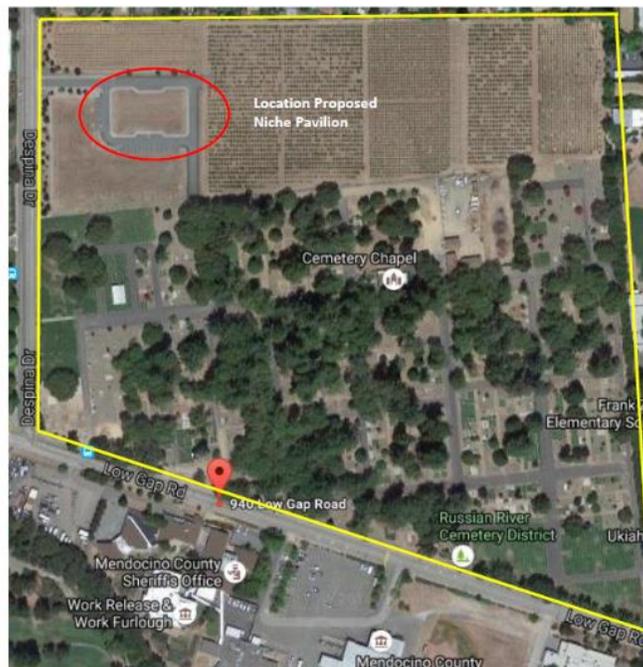
FROM: Michelle Johnson, Assistant Planner

SUBJECT: Request for approval of a Minor Site Development Permit for a six column open Niche Memorial Pavilion and new landscaping at 940 Low Gap Road, APN 002-160-63 File No.: 2130-SDP-ZA.

RECOMMENDATION

Staff recommends the Zoning Administrator approve this request to allow a six column open niche pavilion/columbarium and/or mausoleum for cremations and new landscaping at 940 Low Gap Road based on the draft Site Development Permit Findings in attachment 1 and subject to the draft Site Development Permit Conditions of Approval in attachment 2.

PROJECT DESCRIPTION



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2 An application was received Jodfrie Lolonis on behalf of the Russian River Cemetery District to
 3 expand the grave site area and build a six column open niche pavilion/columbarium and/or
 4 mausoleum for cremations and new landscaping. The expansion is in the South West section of
 5 the Property (see attachment 3, Site Plan date stamped September 15, 2016). The parcel has
 6 existing asphalt roads, parking areas, concrete perimeter and pathways, underground water
 7 and power on site.

8 The remainder of the property is planted in vineyard with the extensive tree plantings on drip
 9 irrigation (see attachment 3, Site Plan date stamped September 15, 2016). All irrigation will be
 10 set up to convert to recycled water when it is extended to the area.

11 **SETTING**

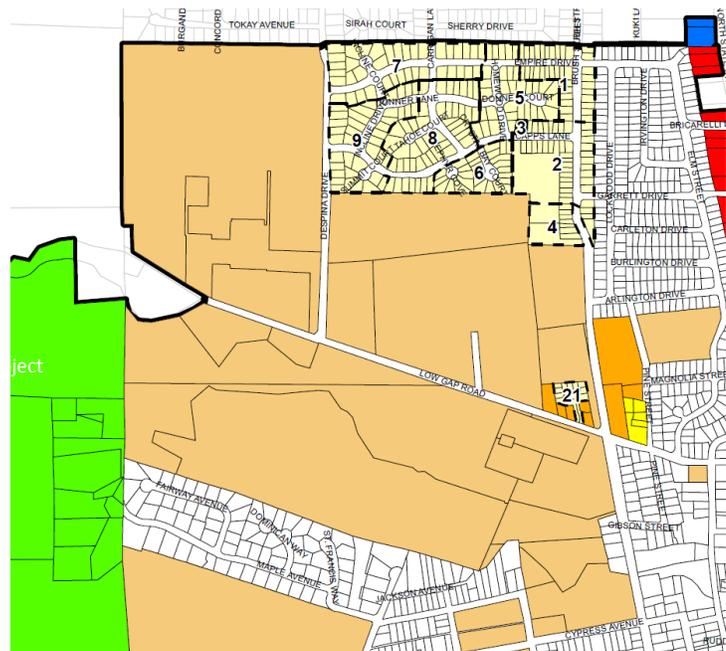
12 **The proposed project is surrounded by**
 13 **the following uses:**

14
 15 **North:** Single-Family Residential Homes
 16 zoned Planned Development
 17 Residential;

18
 19 **South:** Mendocino County Sheriff
 20 Department; Mendocino County
 21 Correctional Department and other
 22 County Office Uses zoned Public
 23 Facilities);

24
 25 **East:** Ukiah Adult School; Frank Zeek
 26 Elementary School; and Single Family
 27 Residences zoned Public Facilities (PF),
 28 High Density Residential (R3), and
 Planned Development (PD-Residential);

29 **West:** Ukiah High School zoned Public Facilities



30 **BACKGROUND**

31 On September 22, 2016 the Design Review Board reviewed the proposed landscaping plan for an
 32 open Memorial Niche Pavilion to be located at the Ukiah Cemetery owned by the Russian River
 33 Cemetery District. The plans reviewed at the meeting omitted the building plans and elevation
 34 drawings; therefore, the board unanimously (3-0) recommended the project come back at a later

1 date to be reviewed as a complete project. On September 26, 2016 staff received the building
2 plans.

3 On October 06, 2016 the proposed project was brought back to the Design Review Board and
4 was unanimously (4-0) recommended to the Zoning Administrator with the following comments:

- 5 1. replace reposed white window frames with a darker color to vinyl to have less of a
6 contrast with the color of the building; and
- 7 2. replace the proposed color for the granite columns with a color scheme that does not
8 create a definitive striped appearance having less contrast.

9 **STAFF ANALYSIS**

10
11 **General Plan:** The general plan land use designation of the parcel included in the proposed
12 project is *Public Facilities (PF)*. Public land uses include identification of lands owned by public
13 agencies -the City, County, School, and special districts, and quasi-public utilities such as Pacific
14 Gas & Electric and Pacific Bell. Public land uses identify facilities that are unlikely during the life
15 of the Plan to be considered surplus property because of the extent or nature of the existing
16 facility. The exact uses allowed are determined by the zoning of the parcel. The project furthers
17 General Plan policies and goals for Open Space and Conservation, including **Policy OC-22.1:**
18 Maintain, protect, and replant stands of Valley Oaks and **Policy CT- OC-23.1:** Define standards that
19 include native plant landscaping.

20
21 **Zoning Consistency.** The subject property is located within the boundaries of the (PF) Public
22 Facilities Zoning District. The purpose of this district classification is intended to be applied to
23 properties which are used for or are proposed to be used for public or quasi-public purposes or
24 for specified public utility purposes. Additionally, the purpose of the Public Facilities Zoning
25 District is to provide business opportunities on large public-serving land uses such as the airport.
26 Finally, the Public Facilities Zone is consistent with the Public ("P") land use designation of the
27 General Plan. Table 1 below includes the applicable zoning requirements for the Project along
28 with staff analysis.

29

Table 1: Zoning Analysis	
(PF) Public Facilities Zoning District Requirements	Staff Analysis
Use Public Cemeteries and other similar uses are permitted in the (PF) Public Facilities Zoning District. Per Z.O. Section 9170.2	The proposed project is a structure which is incidental or accessory to the permitted use.
Development Standards	

<p>The maximum height of any building in a Public Facilities (PF) district shall be thirty feet (30'). Per Z.O. Section 9170.3</p> <p>There is no required site area for the Public Facilities (PF) Zoning District. Per Z.O. Section 9170.4</p> <p>While no specific yard setbacks are established for the PF Zoning District, it is intended that the yard setbacks shall be equal to or greater than those for adjacent districts triangle may be required for traffic safety. Per Z.O. Section 9170.5</p>	<p>The height of the proposed accessory structure is 18.6 feet which is below the 30 feet well below the maximum height requirement.</p> <p>The front setback for the accessory structure is 60 feet.</p>
<p>Parking & Bicycle Parking</p> <p>Not Applicable</p>	<p>Required parking is not addressed in either the Public Facilities Zoning District or the Off-Street Parking Requirements in Article 17.</p>
<p>9170.7 ADDITIONAL REQUIREMENTS</p> <p>The following additional requirements are applicable in the Public Facilities (PF) Zoning District:</p> <p>B. A site development permit shall be required for development projects in the Public Facilities (PF) Zoning District, pursuant to the requirements of subsection 9261B of this Chapter.</p> <p>C. All development projects in the PF Zoning District requiring discretionary review shall include a proposed landscaping plan commensurate with the size and scale of the proposed development project. Landscaping plans shall be submitted as a required component of all site development and use permits at the time of application filing.</p> <p>D. Landscaping plans submitted for projects on the Ukiah Municipal Airport property shall not include trees, except in areas deemed acceptable in the airport master plan. Landscaping plans submitted for public utility projects shall only include trees if they will not conflict with utility operations.</p> <p>E. All proposed landscaping plans, except as noted in subsection D of this Section shall comply with the following standards:</p>	<p>The proposed application is for a Site Development Permit.</p> <p>The applicant has included a landscaping plan that is commensurate with the size and scale of the proposed development project.</p> <p>The proposed project is not located on the Ukiah Municipal Airport Property.</p>

<p>1. Landscaping shall be proportional to the building elevations.</p> <p>2. Landscape plantings shall be those which grow well in Ukiah’s climate without extensive irrigation. Native species are strongly encouraged.</p> <p>3. All landscape plantings shall be of sufficient size, health and intensity so that a viable and mature appearance can be attained in a reasonably short amount of time.</p> <p>4. Deciduous trees shall constitute the majority of the trees proposed along the south and west building exposures; nondeciduous street species shall be restricted to areas that do not inhibit solar access.</p> <p>5. Parking lots with twelve (12) or more parking stalls shall have a tree placed between every four (4) parking stalls within a continuous linear planting strip, rather than individual planting wells, unless clearly infeasible. Parking lot trees shall primarily be deciduous species, and shall be designed to provide a tree canopy coverage of fifty percent (50%) over all paved areas within ten (15) years of planting. Based upon the design of the parking lot, a reduced number of trees may be approved through the discretionary review process.</p> <p>6. Parking lots shall have a perimeter planting strip with both trees and shrubs.</p>	<p>The proposed landscaping includes Crape Myrthe trees to be planted along the proposed pavilion and will be proportional to the building elevation.</p> <p>The proposed landscaping includes Lagerstromia “Crape Myrtle”; Lavendula Grosso “Lavender”; and Rosamarinus Officinalis and “Hungtingtons Carpet” – Rosemary to be planted within the paved planters. The proposed landscaping are native species and will grow well in the cemetery without extensive irrigation.</p> <p>Based on the landscaping plan submitted the plantings will be of sufficient size, health and intensity and a viable and mature appearance will be attained in a reasonably short amount of time.</p> <p>There are 45 trees recently planted by the Russian River Cemetery District from the approved street tree list on the west building exposure.</p> <p>Amongst the three adjacent parcels currently being utilized as a Public Cemetery by the Russian River Cemetery District there are over 200 existing trees including Oaks, Ginkgo, Crape Myrthe, Willow, Deodara Cedar, Redwood, Floowering Plum, Ornamental Pear, and Chinese Pistache.</p> <p>The proposed project has 22 existing parking spots; given the amount of existing trees the applicant is asking for an exception to the required parking lot trees and 50 % shade coverage over all paved areas.</p> <p>The Zoning Administrator shall have the authority to modify the required elements of a landscaping plan depending upon the size, scale, intensity, and location of the development project.</p> <p>The perimeter of the parking lot on the south and west sides would be grass given the primary purpose of the area is grave sites. On the north and east sides on the parking lot the applicant is proposing both trees and shrubs in the existing four planters that surround the open Niche Pavilion.</p>
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<p>7. Parking lots with twelve (12) or more parking stalls shall have defined pedestrian sidewalks or marked pedestrian facilities within landscaped areas and/or separated from automobile travel lanes. Based upon the design of the parking lot, and the use that it is serving, relief from this requirement may be approved through the discretionary review process.</p> <p>8. Street trees may be placed on the property proposed for development instead of within the public right-of-way if the location is approved by the City Engineer, based upon safety and maintenance factors.</p> <p>9. All new developments shall include a landscaping coverage of twenty percent (20%) of the gross area of the parcel, unless because of the small size of a parcel, such coverage would be unreasonable. A minimum of fifty percent (50%) of the landscaped area shall be dedicated to live plantings.</p> <p>10. Landscaping plans shall include an automatic irrigation system, signs, lighting plan, and any other design amenities.</p> <p>11. All required landscaping for public facility development projects shall be adequately maintained in a viable condition.</p> <p>12. The Planning Director, Zoning Administrator, Planning Commission, or City Council shall have the authority to modify the required elements of a landscaping plan depending upon the size, scale, intensity, and location of the development project. (Ord. 1009, §1, adopted 1998)</p>	<p>The proposed project does not include a marked pedestrian sidewalk from the parking area to the open Niche Pavilion. Based upon the design of the parking lot, and the use that it is serving, relief from this requirement may be approved through the discretionary review process.</p> <p>There are 45 existing street trees along Despina.</p> <p>The proposed project includes new trees, shrubs and grasses; the parcel also has an existing vineyard, and lawn planted amongst the grave sites. The total landscaping coverage will exceed 20% of the gross area of the parcel.</p> <p>A condition of approval has been added to include an automatic irrigation system.</p> <p>A condition of approval has been added to include that all required landscaping for public facility development projects shall be adequately maintained in a viable condition.</p>
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1 **Site Development Permit:** In order to approve a Site Development Permit, the following
 2 findings are required to be made and supported by information included as part of the
 3 application and public record. As part of its review of the proposed Project, staff requests the
 4 Zoning Administrator also consider the required findings.
 5

Table 2: Site Development Permit Analysis	
Use Permit Findings	Staff Analysis
<i>1. The proposal is consistent with the goals, objectives, and policies of the City General Plan.</i>	The proposed project is consistent with the General Plan as described in the General Plan goals; see staff analysis "General Plan" above.
<i>2. The location, size, and intensity of the proposed project will not create a hazardous or inconvenient vehicular or pedestrian traffic pattern.</i>	The location, size, and intensity of the proposed project will not create a hazardous or inconvenient vehicular pedestrian traffic pattern. The project includes an open Niche Memorial Pavilion which will serve the existing needs of the Russian River Cemetery. There is existing infrastructure including a parking lot and paved walkways.
<i>3. The accessibility of off-street parking areas and the relation of parking areas with respect to traffic on adjacent streets will not create a hazardous or inconvenient condition to adjacent or surrounding uses.</i>	The proposed project has 27 existing parking spaces and paved walkways surrounding the proposed memorial niche. The project as conditioned will not create a hazardous or inconvenient condition to adjacent or surrounding uses.
<i>4. Sufficient landscaped areas have been reserved for purposes of separating or screening the proposed structure(s) from the street and adjoining building sites, and breaking up and screening large expanses of paved areas.</i>	The proposed project has 45 existing trees on the west property line which provides screening along Despina Drive; in addition, there are vineyards to the north and east of the proposed project and more than 100 oaks to the south. The proposed plans include Lagerstromia "Crape Myrtle"; Lavendula Grosso "Lavender"; and Rosamarinus Officinalis "Hungtingtons Carpet" – Rosemary to planted within the paved planters immediately surrounding the Niche Pavilion.
<i>5. The proposed development will not restrict or cut out light and air on the property, or on the property in the neighborhood; nor will it hinder the development or use of buildings in the neighborhood, or impair the value thereof.</i>	The proposed project is located 200 +/- feet from all property lines; therefore, will not restrict or cut out light and air on the property, or on the property in the neighborhood; nor will it hinder the development or use of buildings in the neighborhood, or impair the value thereof.
<i>6. The improvement of any commercial or industrial structure will not have a substantial detrimental impact on the character or value of an adjacent residential zoning district.</i>	The proposed addition of the open niche memorial pavilion will be crafted in a way that is aesthetically pleasing with subtle colors, trees, live landscaping and would be located 200 +/- feet from the nearest residential neighborhood. As a result the addition will not have a substantial detrimental impact on the character or value of an adjacent residential zoning district.
<i>7. The proposed development will not excessively damage or destroy natural features, including trees, shrubs, creeks, and the natural grade of the site.</i>	The proposed project is located on a flat parcel that has existing paved walkways; does not include the removal of any trees and is not located near any creeks. The project would include the addition of new

Table 2: Site Development Permit Analysis	
	landscaping and trees will not excessively damage or destroy any natural features.
8. <i>There is sufficient variety, creativity, and articulation to the architecture and design of the structure(s) and grounds to avoid monotony and/or a box-like uninteresting external appearance.</i>	The proposed project includes an open six column niche pavilion accented with granite, trees, and live landscaping. The project has variety, creativity and architecture and will not be box-like or uninteresting.

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SIGNS. No signs have been proposed.

UKIAH AIRPORT MASTER PLAN. The project is located outside the Ukiah Airport Master Plan Compatibility Zone; therefore, is not held to the requirements.

ENVIRONMENTAL REVIEW. The proposed project is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Sections 15303, Class 3 (e); construction of small accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences. City staff has determined that all public services are currently serving the site and are available to serve the site after the addition is constructed, and the site is characterized as densely urban with no significant plant or animal habitat value.

PUBLIC NOTICE. A notice of public hearing was provided in the following manner as required by the Ukiah Municipal Code.

- Posted in three places on the project site October 07, 2016
- Mailed to property owners within 300 feet of the project site on October 07, 2016; and
- Published in the Ukiah Daily Journal on October 09, 2016

As of the writing of this staff report, no correspondence had been received as a result of the public notice.

DECISION TIMELINE. The proposed project is subject to the requirements of the Permit Streamlining Act (PSA). The PSA requires that a decision be made on the project within 60 days of the application being deemed complete. This application was submitted to the Planning and Community Development Department on September 15, 2016 and was deemed complete on October 06, 2016. As such, a decision must be made on the project no later than December 05, 2016. The applicant may request a onetime extension of the decision timeline.

Attachments

1. Draft Minor Site Development Permit Findings
2. Draft Minor Site Development Permit Conditions of Approval
3. Project Description and Site Plan submitted by applicant date stamped September 15, 2016
4. Site plan submitted by applicant date stamped September 25, 2015
5. DRB Minutes from September 22, 2016; and October 06, 2016

DRAFT SITE DEVELOPMENT PERMIT FINDINGS

**Minor Site Development Permit
Niche Memorial Pavilion
940 Low Gap Road
File No: 2130-SDP-ZA**

1. The six column open niche pavilion/columbarium and/or mausoleum proposed Accessory Structure is an expansion of an existing public facilities use consisting of a Cemetery that is consistent with the goals and policies of the Ukiah General Plan, including Land Use Element requirements for the siting of new structures;
2. The proposed Project, as conditioned, is consistent with the requirements of the zoning ordinance as described in Table 1 of the staff report, and with the approval of the requested modifications to the landscaping requirements;
3. Approval of the modifications to the landscaping requirements is based on the following:
 - Amongst the three adjacent parcels currently being utilized as a Public Cemetery by the Russian River Cemetery District there are over 200 existing trees including Oaks, Ginkgo , Crape Myrthe, Willow, Deodara Cedar, Redwood, Floavering Plum, Ornamental Pear, and Chinese Pistache.
 - The proposed project has 22 existing parking spots; given the amount of existing trees the applicant is asking for an exception to the required parking lot trees and 50 % shade coverage over all paved areas.

The proposed project was reviewed by the Design Review Board (DRB) on September 22, 2016 and October 06, 2016. The DRB recommended the project for approval based on the following (see attachment 4; DRB Minutes dated October 6, 2016):

- replace reposed white window frames with a darker color to vinyl to have less of a contrast with the color of the building; and
 - replace the proposed color for the granite columns with a color scheme that does not create a definitive striped appearance having less contrast.
4. The location, size, and intensity of the proposed project will not create a hazardous or inconvenient vehicular pedestrian traffic pattern. The project includes an open Niche Memorial Pavilion which will serve the existing needs of the Russian River Cemetery. There is existing infrastructure including a parking lot and paved walkways.

- 1 5. The proposed project has 27 existing parking spaces and paved walkways surrounding the
2 proposed memorial niche. The project as conditioned will not create a hazardous or
3 inconvenient condition to adjacent or surrounding uses.
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- 5 6. The proposed project has 45 existing trees on the west property line which provides screening
6 along Despina Drive; in addition, there are vineyards to the north and east of the proposed
7 project and more than 100 oaks to the south. The proposed plans include Lagerstromia “Crape
8 Myrtle”; Lavendula Grosso “Lavender”; and Rosamarinus Officinalis “Hungtingtons Carpet” –
9 Rosemary to be planted within the paved planters immediately surrounding the Niche
10 Pavilion.
11
- 12 7. The proposed project is located 200 +/- feet from all property lines; therefore, will not
13 restrict or cut out light and air on the property, or on the property in the neighborhood; nor
14 will it hinder the development or use of buildings in the neighborhood, or impair the value
15 thereof.
16
- 17 8. The proposed addition of the open niche memorial pavilion will be crafted in a way that is
18 aesthetically pleasing with subtle colors, trees, live landscaping and would be located 200
19 +/- feet from the nearest residential neighborhood. As a result, the addition will not have a
20 substantial detrimental impact on the character or value of an adjacent residential zoning
21 district.
22
- 23 9. The proposed project is located on a flat parcel that has existing paved walkways; does not
24 include the removal of any trees and is not located near any creeks. The project would
25 include the addition of new landscaping and trees will not excessively damage or destroy
26 any natural features.
27
- 28 10. The proposed project includes an open six column niche pavilion accented with granite,
29 trees, and live landscaping. The project has variety, creativity and architecture and will not
30 be box-like or uninteresting.
31
- 32 11. The proposed project is exempt from the provisions of the California Environmental Quality
33 Act (CEQA) pursuant to Sections 15303, Class 3 (e); construction of small accessory
34 (appurtenant) structures including garages, carports, patios, swimming pools, and fences. City
35 staff has determined that all public services are currently serving the site and are available to
36 serve the site after the addition is constructed, and the site is characterized as densely urban
37 with no significant plant or animal habitat value.
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DRAFT CONDITIONS OF APPROVAL

**Minor Site Development Permit
Niche Memorial Pavilion
940 Low Gap Road
File No: 2130-SDP-ZA**

1. All use, construction, or occupancy shall conform to the application approved by the Zoning Administrator, and to any supporting documents submitted therewith, including maps, sketches, renderings, building elevations, landscape plans, and alike.
2. The approved Site Development Permit may be revoked through the City's revocation process if the approved project related to the Permit is not being conducted in compliance with the stipulations and conditions of approval; or if the project is not established within two years of the effective date of approval; or if the established land use for which the permit was granted has ceased or has been suspended for twenty-four (24) consecutive months.
3. Except as otherwise specifically noted, the Site Development Permit shall be granted only for the specific purposes stated in the action approving the Permit and shall not be construed as eliminating or modifying any building, use, or zone requirements except as to such specific purposes.
4. Plans submitted to the building department shall include a revised landscaping plan that includes an automatic irrigation system.
5. Based on the recommendations from the Design Review Board Meeting October 6 , 2016 meeting the applicant shall provide a revised project description and site plan that include the following:
 - replace reposed white window frames with a darker color to vinyl to have less of a contrast with the color of the building; and
 - replace the proposed color for the granite columns with a color scheme that does not create a definitive striped appearance having less contrast.
6. On plans submitted for building permit, if required, these conditions of approval shall be included as notes on the first sheet.

Standard City Conditions of Approval

7. Any construction shall comply with the "Standard Specifications" for such type of construction now existing or which may hereafter be promulgated by the Engineering Department of the City

1 of Ukiah; except where higher standards are imposed by law, rule, or regulation or by action of
2 the Zoning Administrator.

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4 8. In addition to any particular condition imposed, any construction shall comply with all building,
5 fire, electric, plumbing, occupancy, and structural laws, regulations and ordinances in effect at the
6 time the Building Permit is approved and issued.
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8 9. All work within the City right-of-way shall be performed by a properly licensed Contractor with a
9 current City of Ukiah Business License. Contractor must submit copies of proper insurance
10 coverage (Public Liability, \$1,000,000; Property Damage, \$1,000,000) and current Workman's
11 Compensation Certificate.
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13 10. An encroachment permit from the Public Works Department is required to perform all work with
14 the street right-of-way.
15
16 11. All conditions that do not contain specific completion periods shall be completed prior to release
17 of final building inspection and issuance of a Certificate of Occupancy for the primary building on
18 the site.
19
20 12. No permit or entitlement shall be deemed effective unless and until all fees and charges applicable
21 to this application and these conditions of approval have been paid in full.
22
23 13. A copy of all conditions of this Site Development Permit shall be provided to and be binding upon
24 any future purchaser, tenant, or other party of interest.
25
26 14. All conditions of approval that do not contain specific completion periods shall be completed prior
27 to building permit final.
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29 15. All required landscaping shall be properly maintained to insure the long-term health and vitality
30 of the plants, shrubs and trees. Proper maintenance means, but is not limited to the following:
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32 A. Regular slow, deep watering when feasible. The amount of water used shall fluctuate
33 according to the season, i. e., more water in summer, less in the winter.
34 B. Additional watering shall occur during long periods of severe heat and drying winds, and
35 reduced watering shall be used during extended periods of cool rainy weather.
36 C. Fertilizer shall only being used on trees during planting. Shrubs may receive periodic
37 fertilizer according to the recommendations of a landscaping professional.
38 D. Weed killers shall not be used on or near trees.
39 E. The tree ties and stakes shall be checked every six months to ensure they do not constrict
40 the trunks and damage the trees.
41 F. Tree ties and stakes shall be removed after 1 to 3 years to ensure they do not damage the
42 trunk of the tree and its overall growth.
43 G. Any tree that dies or is unhealthy due to pests, disease or other factors, including
44 vandalism, shall be replaced with the same or similar tree species, or an alternative
45 species approved by the department of Planning and Community Development.
46 H. All trees shall be properly pruned as appropriate. No topping cuts shall be made. All
47 pruning shall follow standard industry methods and techniques to ensure the health and
48 vitality of the tree.
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1 16. This Site Development Permit may be revoked through the City's revocation process if the
2 approved project related to this Permit is not being conducted in compliance with these
3 stipulations and conditions of approval; or if the project is not established within two years of the
4 effective date of this approval; or if the established use for which the permit was granted has
5 ceased or has been suspended for 24 consecutive months.

6 17. This approval is contingent upon agreement of the applicant and property owner and their agents,
7 successors and heirs to defend, indemnify, release and hold harmless the City, its agents, officers,
8 attorneys, employees, boards and commissions from any claim, action or proceeding brought
9 against any of the foregoing individuals or entities, the purpose of which is to attack, set aside,
10 void or annul the approval of this application. This indemnification shall include, but not be limited
11 to, damages, costs, expenses, attorney fees or expert witness fees that may be asserted by any
12 person or entity, including the applicant, arising out of or in connection with the City's action on
13 this application, whether or not there is concurrent passive or active negligence on the part of the
14 City. If, for any reason any portion of this indemnification agreement is held to be void or
15 unenforceable by a court of competent jurisdiction, the remainder of the agreement shall remain
16 in full force and effect.

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940 Low Gap Road



530 Low Gap Road-Memorial Pavilion

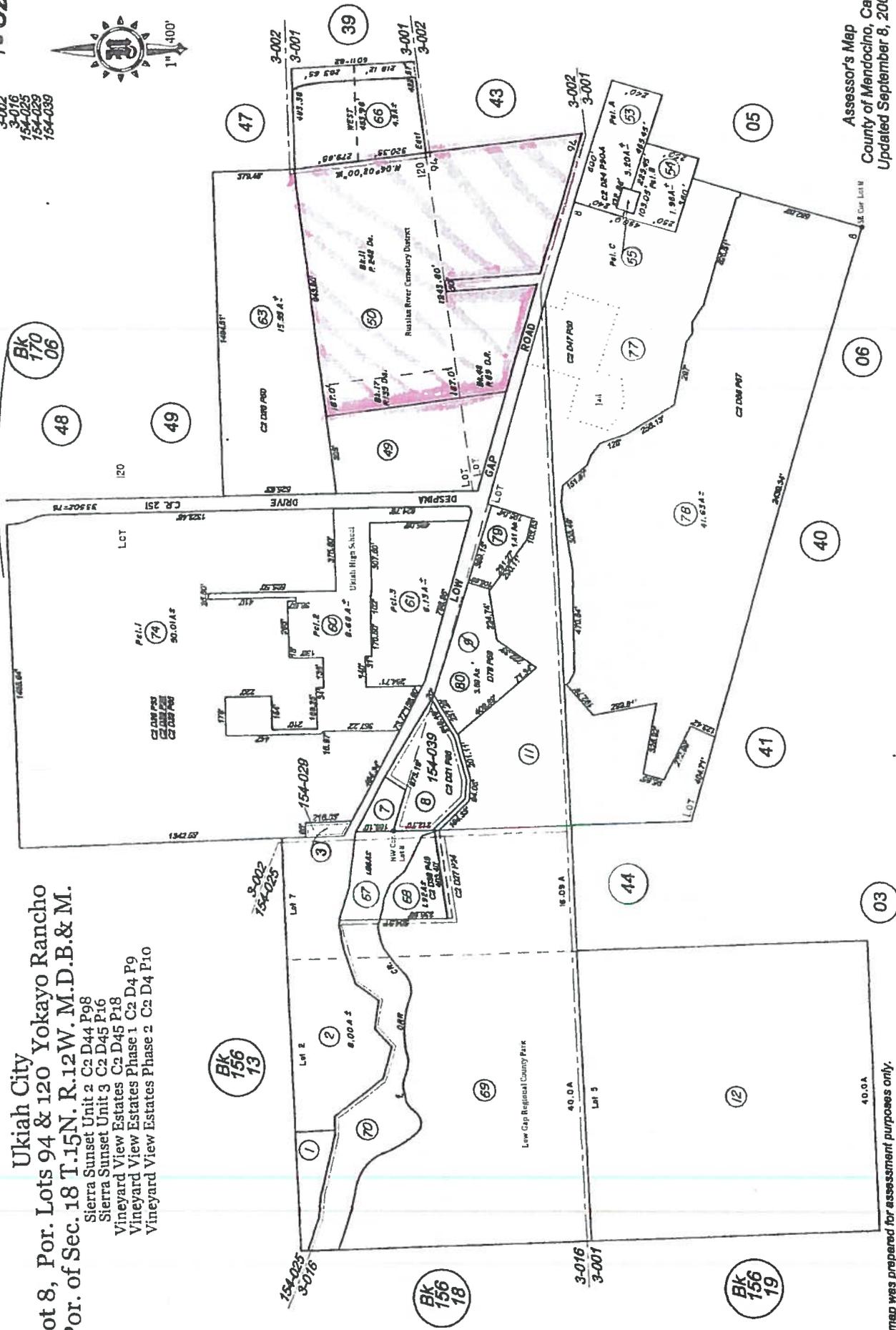


3-001
3-002
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154-025
154-029
154-039



Ukiah City Lot 8, Por. Lots 94 & 120 Yokayo Rancho Por. of Sec. 18 T.15N. R.12W. M.D.B.& M.

- Sierra Sunset Unit 2 C2 D44 P98
- Sierra Sunset Unit 3 C2 D45 P16
- Vineyard View Estates C2 D45 P18
- Vineyard View Estates Phase 1 C2 D4 P9
- Vineyard View Estates Phase 2 C2 D4 P10



Assessor's Map
County of Mendocino, Calif
Updated September 8, 2001

NOTE: This map was prepared for assessment purposes only.

NOTES

1. REQUIREMENTS. All work performed on this project shall conform to the 2001 edition of the C.B.C., U.P.C., and the 2001 edition of the N.E.C., and all applicable Local, State and Federal, Ordinances, Laws, Regulations, and Protective Covenants governing the site.
2. Contractor shall provide certificate of insurance acceptable to the Owner prior to start of the work.
3. Contractor shall verify all dimensions shown herein and notify the Owner of any discrepancies.
4. G.C. shall field verify all dimensions, existing site conditions and utilities prior to construction.
5. General Contractor is responsible for all construction, demolition means and methods on the project.
6. Designer shall not be responsible for how the work is performed, safety, nor omissions.
7. The Owner, G.C. or their subcontractors on the project.
8. G.C. shall be responsible for locating, maintaining, relocating and/or removal of all utilities.
9. All drawings, and other attached documents, were prepared by the Designer based on the existing program requirements, building Code requirements and Standard Construction Industry Practices. It shall be the responsibility of the Contractor and G.C. to ensure that all of the work is built in accordance with these drawings and applicable building regulations.
10. Additional Notes, see Sheet S-1.

WORK:

The work is contemplated except the tie-in to the existing sewer lateral, and general clean-up to finish grades to drain away from the building foundations.

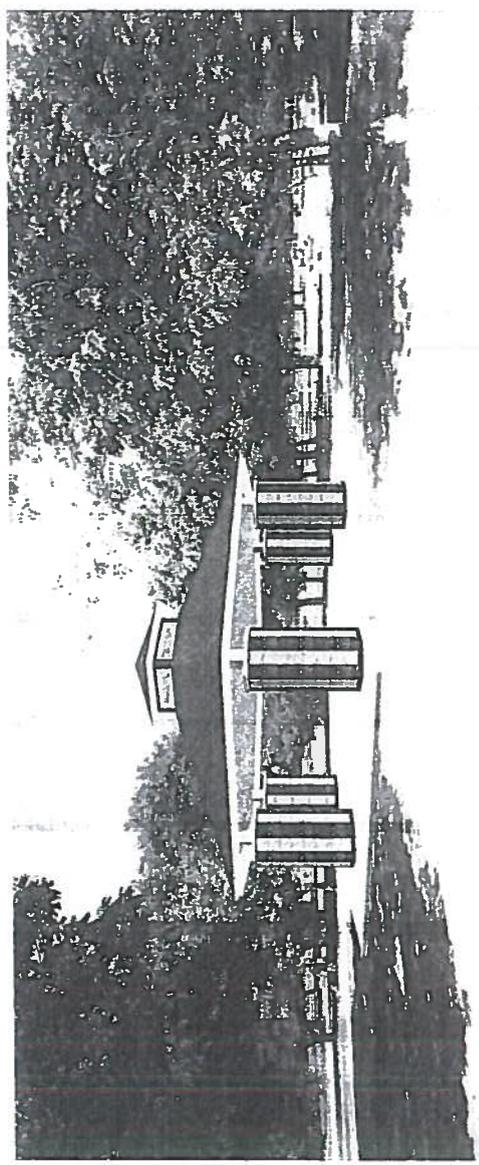
NOTE:

1. Concrete to be machine mixed and placed in accordance with the C.B.C. Section 1905.
2. Concrete shall conform to the requirements of ACI 318-99 "Specifications for Structural Concrete for Buildings".
3. Concrete shall be 150 pcf hard rock, mixed per ASTM C94.
4. Slabs shall attain a minimum compressive strength of 2,500 psi at 28 days.
5. Rebar shall conform to ASTM C150, Type II.
6. Castings shall conform to ASTM C93.
7. Slabs shall have a light broom finish except as noted on the drawings.
8. Bars for reinforcing steel shall be 2" for footings cast against earth (formed), and 3" for slabs.
9. Bars for plumbing openings in slab before placing concrete and bend around footing around sleeves.
10. Finishing: Curing compound meeting the requirements of ASTM C309, Type I, Class B, with fugitive dye.

11. Structural steel and miscellaneous iron shall conform to ASTM A-36.
12. Bolts and screws shall conform to ASTM A-307, Grade "A".
13. Galvanizing: Hot-dip galvanizing shall conform to ASTM A-135.

WORKING STEEL:

1. Lubrication and placement of all reinforcing steel shall conform to CRSI "Manual of Standard Practice" and "CRSI Recommended Practice for Placing and Forming Concrete".
2. Reinforcing Steel shall be deformed billet steel conforming to ASTM A-615, Grade 60 UNO.
3. Wire Fabric shall conform to ASTM A-185.
4. Welding shall conform to ASTM A-82 with a minimum $F_y=65$ ksi.
5. Welding shall conform to AWS D1.4.
6. All rebar shall be a minimum of 3/8" diameter, but not less than 24".
7. Clear distance between parallel bars shall be at least the diameter of the bar, or 1-1/3 times the coarse aggregate size but in no case less than 2".



VICINITY MAP

DRAWING INDEX:

Sheet	Drawing Title
1	A1 Title Sheet, Vicinity Map
2	A2 Architectural Notes
3	A3 Floor Plan
4	A4 Dimensioned Floor Plan
5	A5 Roof Plan
6	A6 Exterior Elevations
7	A7 Roof Framing Plan
8	A8 Castings details
9	A9 Cross Sections
10	E1 Electrical Plan
11	S1 Structural Notes
12	S2 Foundation Plan
13	S3 Shear Wall Plan
14	S4 Roof Framing Plan
15	S5 Structural Details
16	S6 Structural Details
17	S7 Structural Details
18	S8 Structural Details
19	F1 Plumbing
20	M1 Title 24 Compliance

ENGINEERING BY
NO. REVISION
DATE

PROJECT TITLE
SHEET NO.

APPROVALS AND DESIGN CONCEPTS
DATE: 11/15/01
BY: [Signature]

PROJECT
RENDERING

PROJECT OWNER
RUSSELL RYAN
CENTURY DIVERSITY
940 LOW GAP ROAD
LARKEN, CA 95032

DATE: 11/15/01

SCALE: 1/4"=1'-0"

SHEET: A-1



Christy Niche

Product Specifications

Concrete

- **Compressive Strength**
Bare Casing - 6,800 Pounds per Square Inch (PSI) after 28 days
Foundations, Footings and Flatwork - 2,500 Pounds Per Square Inch (PSI) after 28 days
- **Reinforcement**
 - Rebar - #3 Rebar, 3/8" Diameter, ASTM A-615 GR40
 - Wire Mesh - 6 x 6 4 Gauge
 - External Steel Angle Frame

FIBRELYTE™ Inner Liners

Fibrelyte is a proven polyester pre-mix with calcium carbonate and polyester resins interfaced with fiberglass and ultra-violet inhibitors. Fibrelyte is a durable, state and utility approved, non-combustible material.

Christy Niche Fibrelyte Inner Liners and Security Shutters offer high impact strength and protection and are chemically bonded to the concrete to prevent the inner liners from popping out.

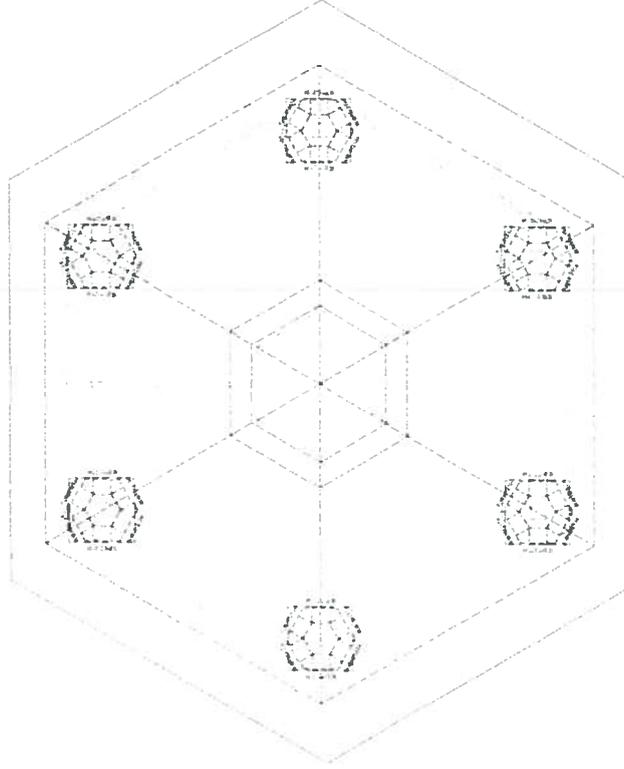
Nominal Inside Dimensions

Niche Size	Height	Width	Depth	Cubic Inches
Small	5 21/32"	5 21/32"	7 3/32"	227
Medium	9 7/32"	9 7/32"	9 7/8"	839
Large	12 27/32"	12 27/32"	9 13/16"	1,619
Rectangular	12 27/32"	9 7/32"	9 13/16"	1,162

Granite / Marble

- Highest Quality Granites and Marbles Imported from Italy
- 5th Generation Granite and Marble Expertise

www.christyvault.com



FLOOR PLAN

SHEET TITLE

PROJECT OWNER
RUSSELL DYER
Cementing District
40 Low Gap Road
Larkspur, CA 94022

DATE:

5/10/2016

SCALE:

1/4"=1'-0"

SHEET:

A-3

BY DATE

NO. REVISION

ENGINEERING BY
A. DOCKHART AND DESIGN CONCEPTS
ARCHITECTS, INC. AND THE PROPERTY
OF THE DESIGNER. THIS DRAWING
NOT TO BE REPRODUCED OR TRANSMITTED
IN ANY FORM OR BY ANY MEANS,
ELECTRONIC OR MECHANICAL, WITHOUT
THE WRITTEN PERMISSION OF THE DESIGNER.
DESIGN CENTER
3000 MANSON RD
TRACY, CA 95377
TELEPHONE 925-835-0900

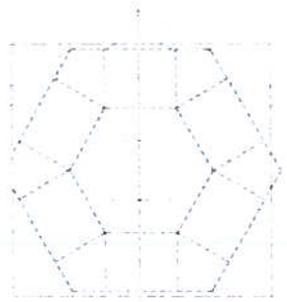
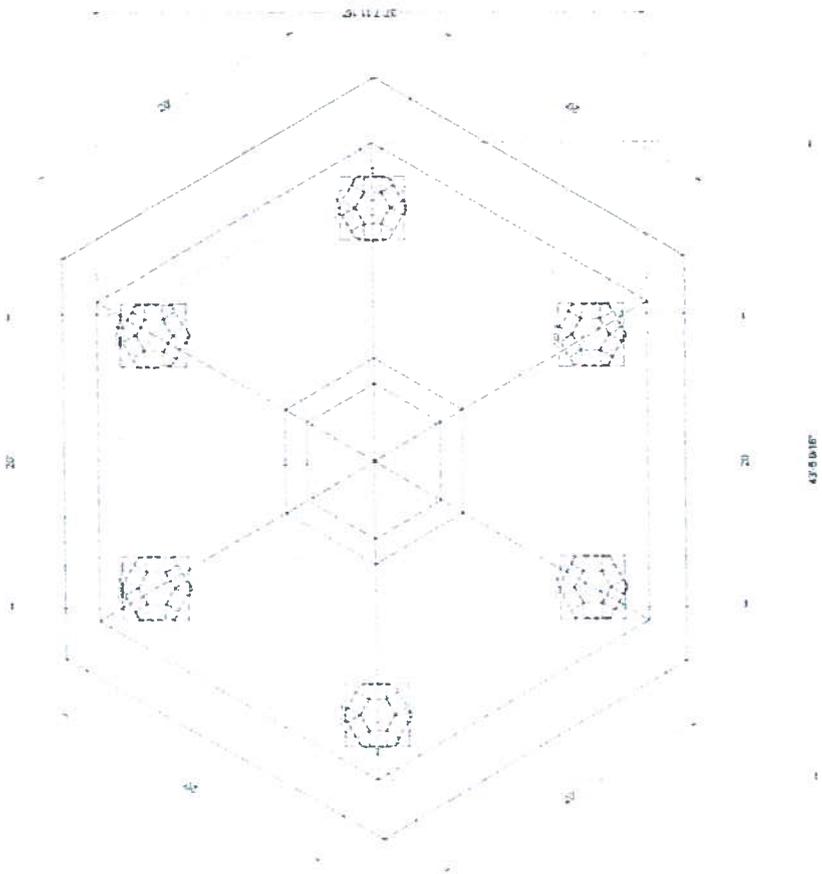
**FLOOR PLAN
DIMENSIONED**

PROJECT OWNER
RUSSELL RIVER
Cresting Drive
Lubbock, TX 79424

DATE: 8/15/2016

SCALE: 1/8" = 1'-0"

SHEET:
A-4



STRUCTURAL COLUMN YET TO BE DETERMINED BY STRUCTURAL CALCULATIONS
 EACH COLUMN SHALL BE ENCASED BY 6 CHRISTY CASTINGS WITH A 1 WIDE BY 8 HIGH CONFIGURATION
 CASTINGS ARE TO BE SUPPLIED AND INSTALLED BY CHRISTY VAULT
 HARDWARE TO BE AON HARDWARE TO BE SUPPLIED BY CHRISTY
 SCENE FOR SHUTTERS AND TRIM YET TO BE DETERMINED
 TOTAL CHRISTY NICHE COUNT TO BE 288 MEDIUM NICHES.

DESIGN BY
 A. DICKENS AND DESIGN CONCEPTS
 ARCHITECTS AND INTERIORS
 1000 W. 14TH ST. SUITE 100
 LUBBOCK, TX 79402
 806-799-1111
 WWW.ANDDESIGNCONCEPTS.COM

DESIGNED BY
 M. J. DICKENS
 1000 W. 14TH ST. SUITE 100
 LUBBOCK, TX 79402
 806-799-1111
 WWW.ANDDESIGNCONCEPTS.COM

NO. REVISION DATE

SHEET: A-5

PROJECT OWNER:

DATE: 3/1/2016

SCALE: 1/4" = 1'-0"

RUBEN RYBET
CONSULTING DESIGN
440 Low Gap Road
Livermore, CA 94552

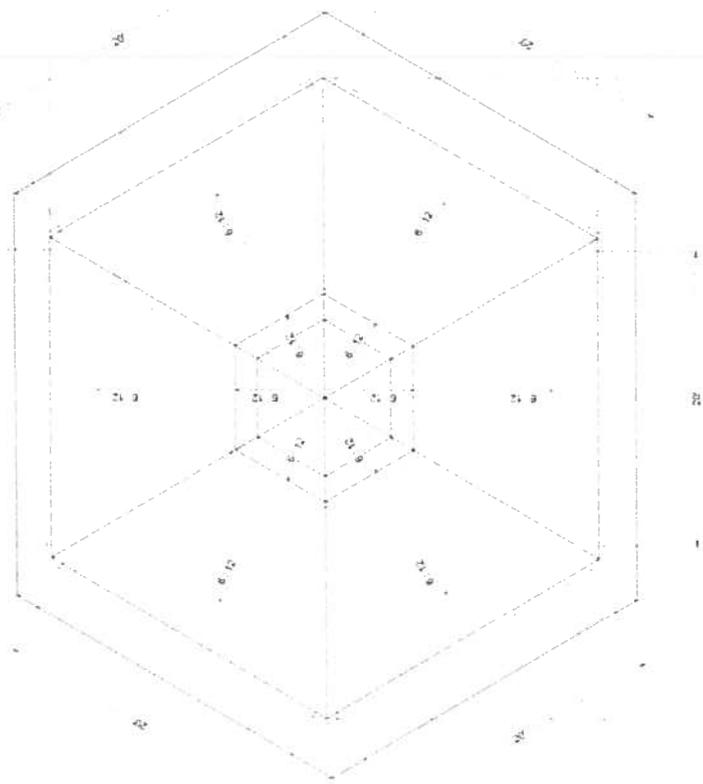
ROOF PLAN

SHEET TITLE

ALL DOCUMENTS AND DESIGN CONCEPTS
APPEARING HEREIN ARE THE PROPERTY
OF THE DESIGNER AND SHALL REMAIN HIS
AND HIS ASSOCIATES AND SHALL NOT BE
REPRODUCED OR TRANSMITTED IN ANY
MANNER WITHOUT THE WRITTEN
CONSENT OF THE DESIGNER. ANY
VIOLATION OF THIS AGREEMENT
MAY BE SUBJECT TO LEGAL ACTION
AND THE DESIGNER SHALL BE
RESPONSIBLE FOR THE PROTECTION
OF HIS OWN AND HIS ASSOCIATES
DESIGN INFORMATION.



ENGINEERING BY
NO. RYBET
DATE



BY DATE

NO. REVISION

ENGINEERING BY

TEL: 209-248-0175

17000 N. ENGLISH

TRACY, CA 95376

ARCHITECTURE



ARCHITECTS AND DESIGN CONSULTANTS
17000 N. ENGLISH
TRACY, CA 95376
TEL: 209-248-0175
DAVID M. SMITH
LICENSE NO. 22442
MECHANICAL ENGINEERING
STATE OF CALIFORNIA

ELEVATIONS

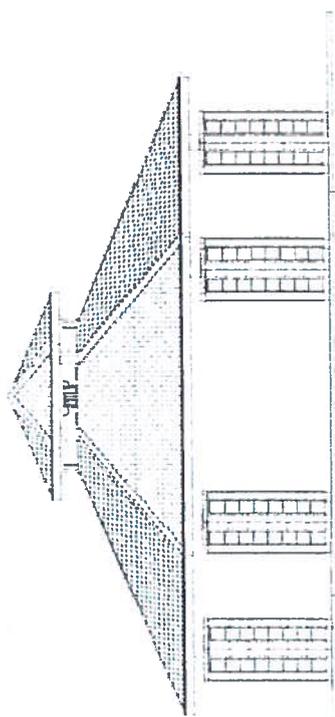
SHEET TITLE

PROJECT OWNER
CASSIDY RIVER
440 LAVA GAP ROAD
CANTON DISTRICT
LIVERMORE, CA 94552

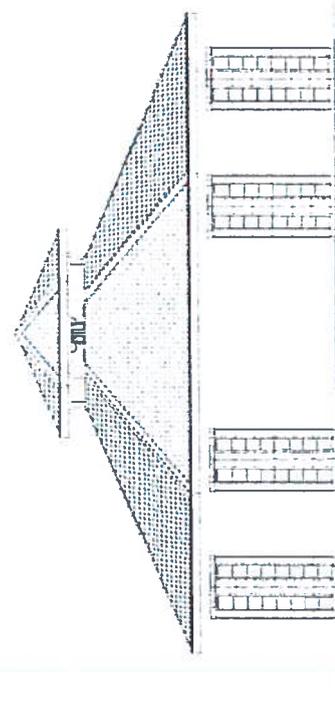
DATE: 5/18/2016

SCALE: 1/4"=1'-0"

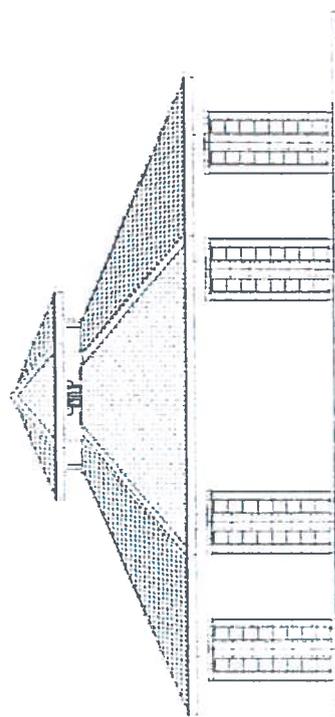
SHEET: A-6



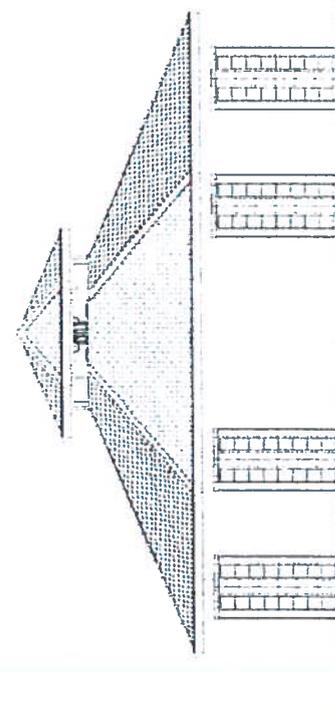
ELEVATION 1



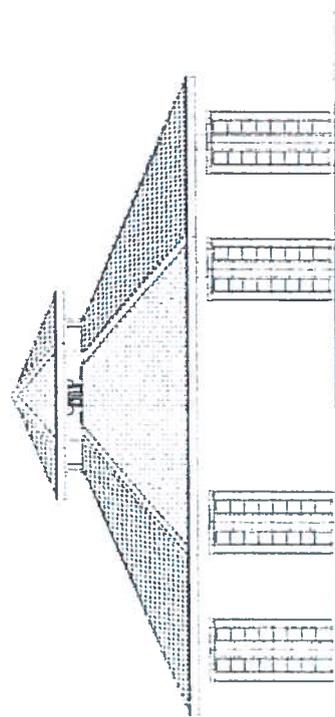
ELEVATION 2



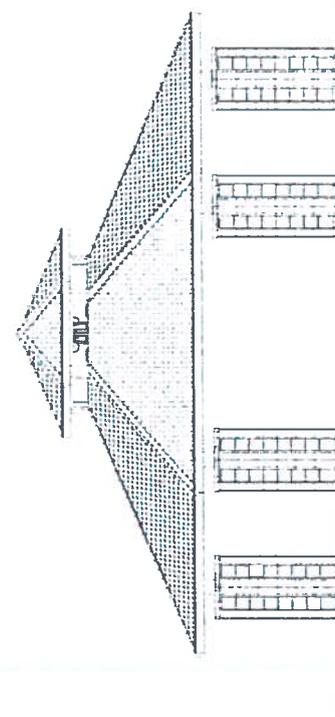
ELEVATION 3



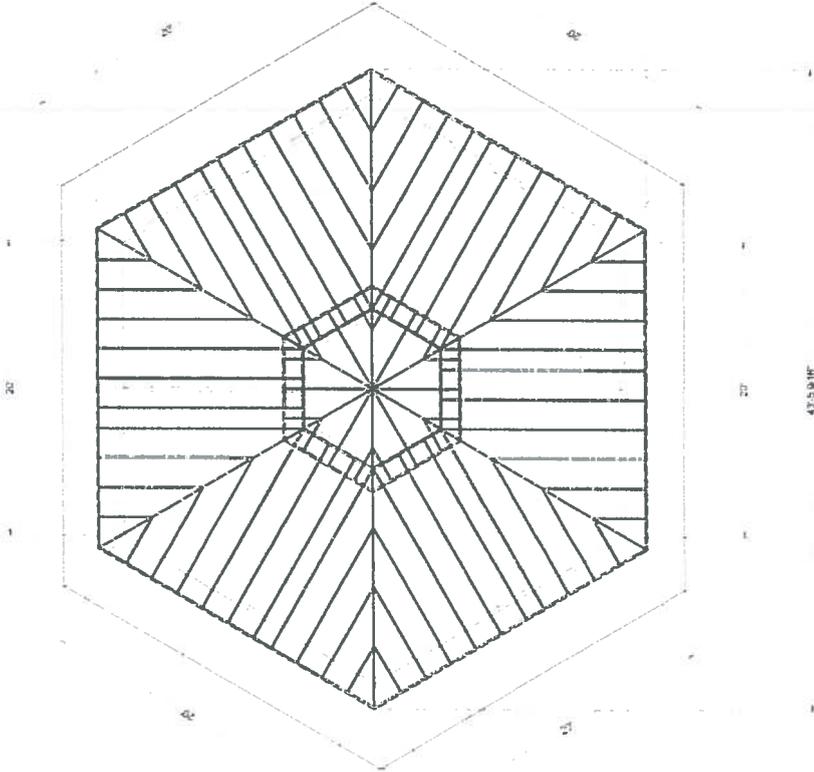
ELEVATION 4



ELEVATION 5



ELEVATION 6



REQUIRED ATTIC VENTILATION

ATTIC VENTILATION BY U.B.C. 1505.1

- A ATTIC AREA IN SQUARE FEET
- B SQUARE ATTIC AREA BY 300 AND MULTIPLY BY 144 TO CALCULATE THE TOTAL REQUIRED NET FREE AREA IN SQUARE INCHES
- C TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY GABLE END VENTS
- D TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY RAFTER END VENTS
- E TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA OF DETAIL VENTS NECESSARY

AREA	A	B	C	D	E
	1,694 S.F.	243,552 IN ²	0 S.F.	108,000 IN ²	0 S.F.

NOTES

- 1 ALL VENT OPENINGS SHALL BE COVERED WITH 1/4" CORROSION RESISTANT METAL MESH
- 2 ALL VENTS SHALL BE INSTALLED SO AS TO MAKE THEM WEATHER TIGHT
- 3 WALL MOUNTED DOWNERS SHALL BE SEALED AND FLASHED WITH "MOISTOP" IN THE SAME MANNER PRESCRIBED FOR WINDOW INSTALLATION
- 4 PROVIDE APPROVED INSULATION DAMS (BAP-FLERS) WHERE VENT BLOCKS ARE USED BETWEEN ROOF PANELS TO PREVENT INSULATION FROM BEING BLOCKED BY INSULATION

PROVIDES APPROX. 13,5780 INCHES VENT AREA PER BLOCK
MINIMUM BLOCK SIZE 24" x 1'-10 1/2"

- 1 1/4" HANDMADE CLOTH STAPLED TO BACK OF 2" BLOCK
- 2 4-7/8" DIA. HOLES PER BLOCK

ROOF FRAMING PLAN

SHEET TITLE

PROJECT OWNER
Rosaar River
Center for the Arts
940 Low Gap Road
Ukiah, CA 95432

DATE: 5/18/2016

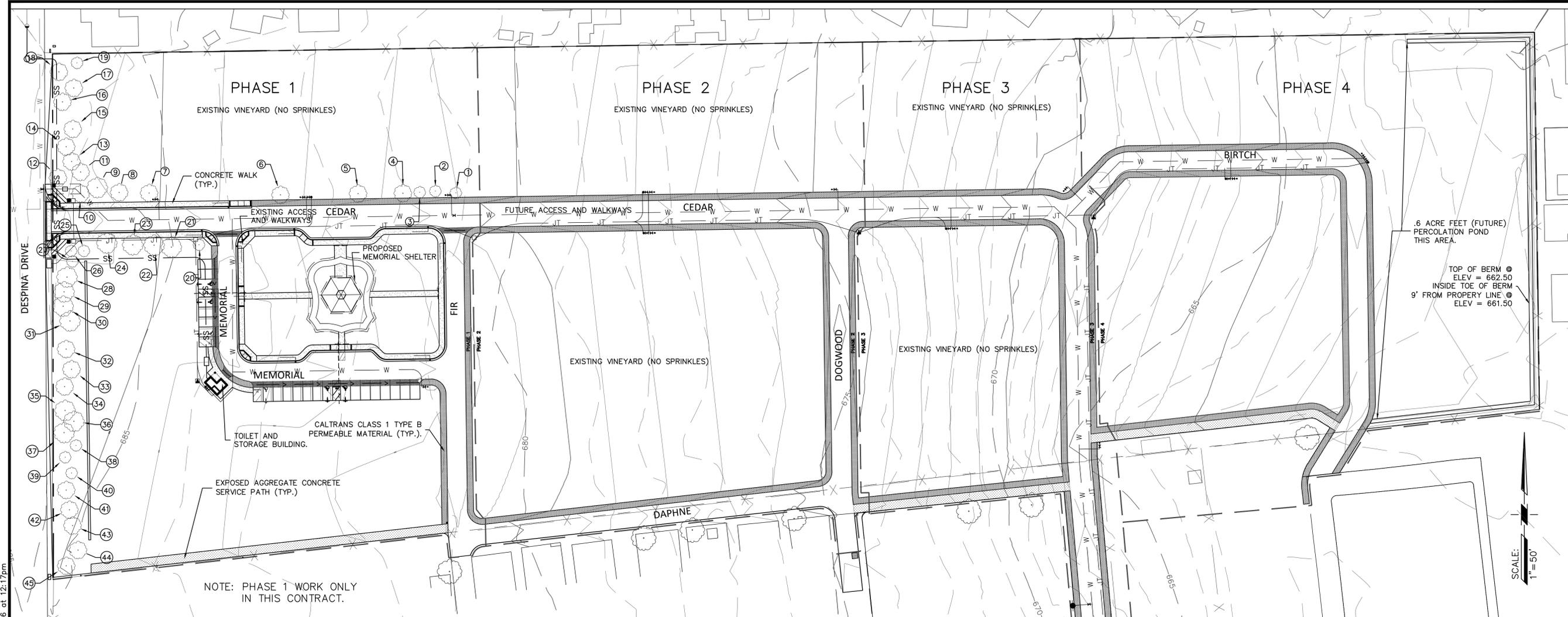
SCALE: 1/4"=1'-0"

SHEET: A-7

DESIGNED BY
Rosaar River
2000 Highway 20
Ukiah, CA 95432
TEL: 254-524-8575

APPEARING HEREIN ARE THE PROPERTY
OF THE DESIGNER AND SHALL NOT BE
REPRODUCED OR TRANSMITTED IN ANY
FORM OR BY ANY MEANS, ELECTRONIC
OR MECHANICAL, INCLUDING PHOTOCOPYING,
RECORDING, OR BY ANY INFORMATION
SYSTEM WITHOUT THE WRITTEN CONSENT
OF THE DESIGNER AND ENGINEER.

NO. SYSTEM BY DATE



NOTE: PHASE 1 WORK ONLY IN THIS CONTRACT.

6 ACRE FEET (FUTURE) PERCOLATION POND THIS AREA.
 TOP OF BERM @ ELEV = 662.50
 INSIDE TOE OF BERM 9' FROM PROPERTY LINE @ ELEV = 661.50

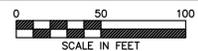


EXISTING TREE/PLANT TABLE

No.	Description	Size (DBH)	No.	Description	Size (DBH)
1	PC-Double	4"	23	OP	7"
2	OP	6"	24	CD	9"
3	PC	3"	25	SS	8"
4	PC-Triple	4"	26	L	3"
5	PC	6"	27	L	3"
6	PC	6"	28	SS	10"
7	PLP	7"	29	SS	10"
8	PC	6"	30	SS	10"
9	CD	8"	31	SS	10"
10	OP	5"	32	PC	7"
11	SS	6"	33	PC	7"
12	OP	5"	34	PC	7"
13	SS	6"	35	OP	8"
14	SS	6"	36	OP	8"
15	SS	6"	37	OP	8"
16	PC	5"	38	GB	4"
17	PC	5"	39	GB	4"
18	PC	5"	40	GB	4"
19	W-Multiple	3"	41	OP	8"
20	L	3"	42	OP	8"
21	PC	8"	43	SS	10"
22	PLP	7"	44	SS	10"
			45	SS	10"

ABBREVIATION LEGEND

GB	Ginkgo Biloba 'Ginko'
L	Lagerstromia 'Crape Myrthe'
W	Salix 'Willow'
CD	Cedrus Deodara 'Deodara Cedar'
SS	Sequoia Sempravirens 'Redwood'
PLP	Prunus C. Thubdercloud 'Floowering Plum'
OP	Pryus Calleryana 'Ornamental Pear'
PC	Pistache Chinensis 'Chinese Pistache'
DBH	Diameter Breast High



Xrefs: R02245.1_HRZ.dwg; 02245.1_IB.dwg; R02245.1_UTILITIES.dwg; Cemetery_Bing.dwg; R02245.1_Existing-Topo.dwg
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DATE:	REVISION:	BY:	COMPUTER NO: SERVER Z:\R02245.1
			PATH: \DRAWINGS\CIVIL
			FILE: R02245.1_JCL_Plan.dwg
			PSVIEW:
			MSVP:
			MSVIEW:

VERIFY SCALE

BAR REPRESENTS THREE INCHES ON ORIGINAL

USE OF THIS DOCUMENT, INCLUDING THE INCORPORATED DESIGNS, IS AN INSTRUMENT OF SERVICE FOR THIS PROJECT AND SHALL NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF RAU AND ASSOCIATES INC.

OWNER: **RUSSIAN RIVER CEMETERY DISTRICT**

LOCATION: **940 LOW GAP ROAD UKIAH, CA**

RAU AND ASSOCIATES INC.

CIVIL ENGINEERS · LAND SURVEYORS

100 NORTH PINE STREET · (707) 462-6536 · UKIAH, CA 95482

DRAWING: **SITE PLAN**

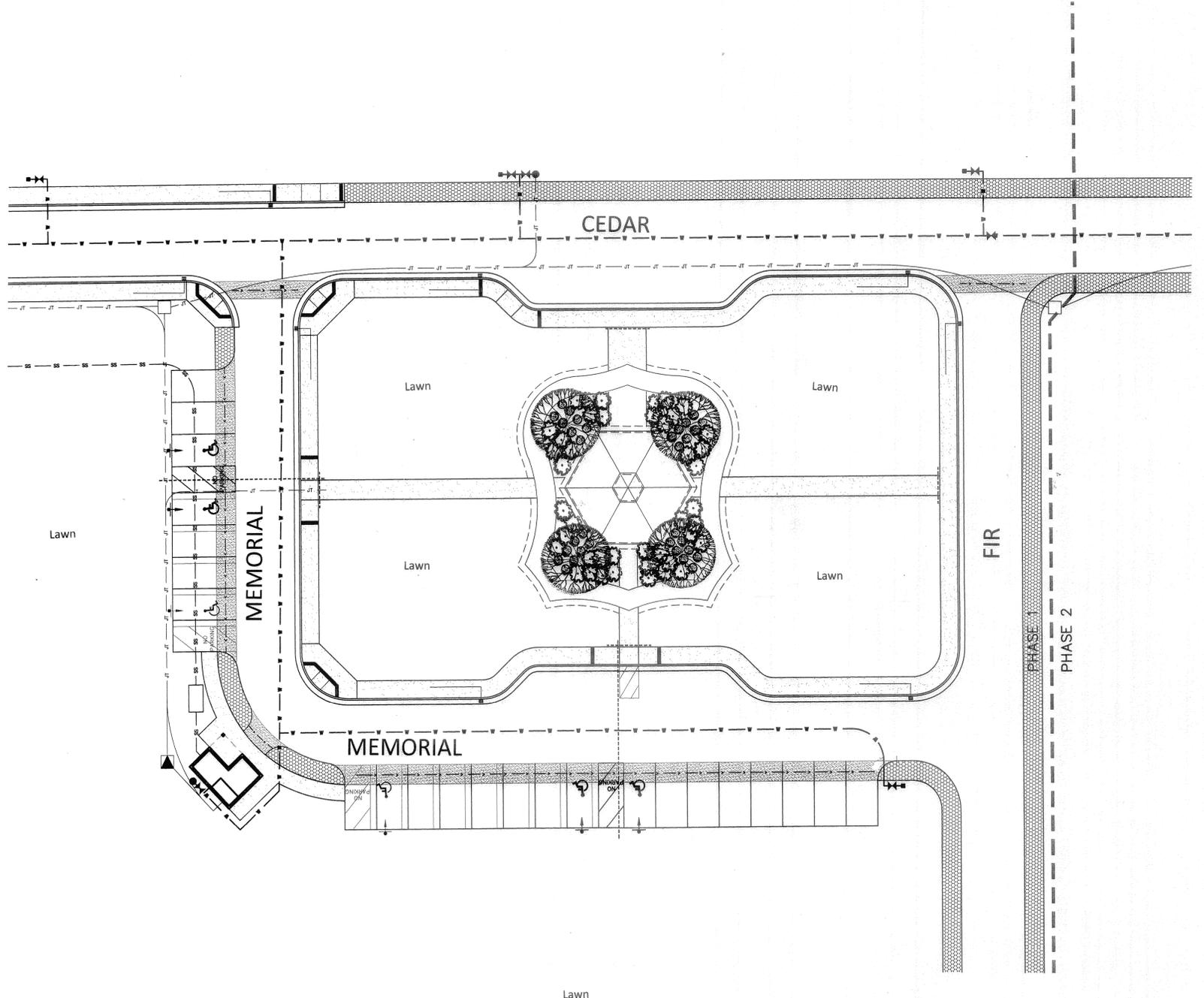
PROJECT: **MEMORIAL PAVILION**

Date: SEPT. 2016
 Scale: AS SHOWN
 Drawn: M.A.W.
 Checked: G.C.R.
 Reviewed: G.C.R.
 Job No. R02224.1

SHEET 1 of 3 SHEETS



Xrefs: R02245.1_HRZ.dwg; 02245.1_TB.dwg; R02245.1_UTILITIES.dwg; Cemetery_Bing.dwg
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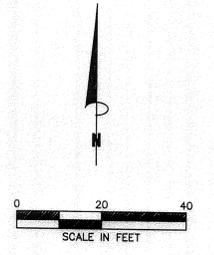


Project Description

Expansion of grave site area to include area for graves and Niche (memorial) Pavilion.
 This expansion is in the South West section of the property (see map). It has existing asphalt roads, parking areas, concrete perimeter and pathways, underground water and power on site.
 The remainder of the property is planted in vineyard with extensive tree plantings on drip irrigation (see site plan). All irrigation will be set up to convert to recycled water when it is extended to the area.

PLANT LEGEND

-  Lagerstromia "Crape Myrtle"
-  Lavendula Grosso "Lavender"
-  Rosmarinus Officinalis "Huntingtons Carpet" - Rosemary
- Lawn - RTF Roll out sod



DATE:	REVISION:	BY:	COMPUTER NO: SERVER Z:\R02245.1
			PATH: \DRAWINGS\CML
			FILE: R02245.1_JCL_Plan.dwg
			PSVIEW:
			MSVP:
			MSVIEW:

VERIFY SCALE

BAR REPRESENTS THREE INCHES ON ORIGINAL

USE OF THIS DOCUMENT, INCLUDING THE INCORPORATED DESIGNS, IS AN INSTRUMENT OF SERVICE FOR THIS PROJECT AND SHALL NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF RAU AND ASSOCIATES INC.

OWNER: RUSSIAN RIVER CEMETERY DISTRICT

LOCATION: 940 LOW GAP ROAD UKIAH, CA

RAU AND ASSOCIATES INC.

CIVIL ENGINEERS · LAND SURVEYORS

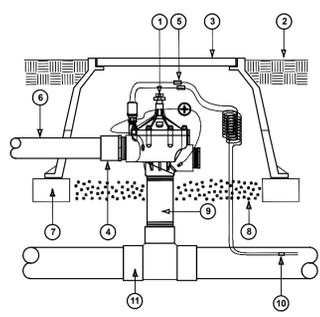
100 NORTH PINE STREET · (707) 462-6536 · UKIAH, CA 95482

DRAWING: LANDSCAPE PLAN

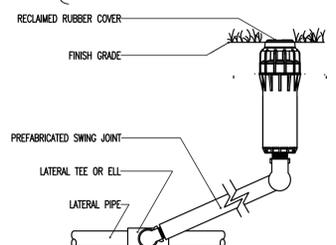
PROJECT: MEMORIAL PAVILION

Date: SEPT. 2016
 Scale: AS SHOWN
 Drawn: M.A.W.
 Checked: G.C.R.
 Reviewed: G.C.R.
 Job No. R02224.1

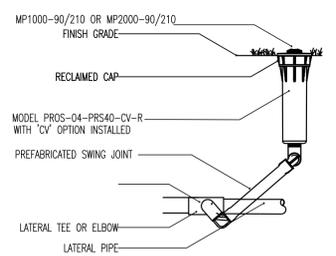
SHEET 2 of 3 SHEETS



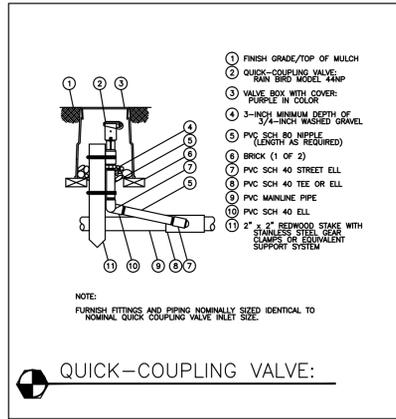
- 1 Infiltral 100P2 electric control valve with purple flow control handle
- 2 Finish Grade
- 3 Valve Box (height above grade as required) Purple in color
- 4 PVC Male Adapter
- 5 Waterproof wire connectors
- 6 PVC lateral line-angle to proper depth with 45° ell
- 7 Common red brick (4 required)
- 8 Pea Gravel-12" deep
- 9 PVC Schedule 80 nipple (length as required)
- 10 Common and control wires to controller location via DC latching solenoid
- 11 Pressure main line piping with main line fitting (depth as required) With Purple PVC or Purple detectable tape



I-25-04-SS-R ROTOR HEAD
SCALE: NTS



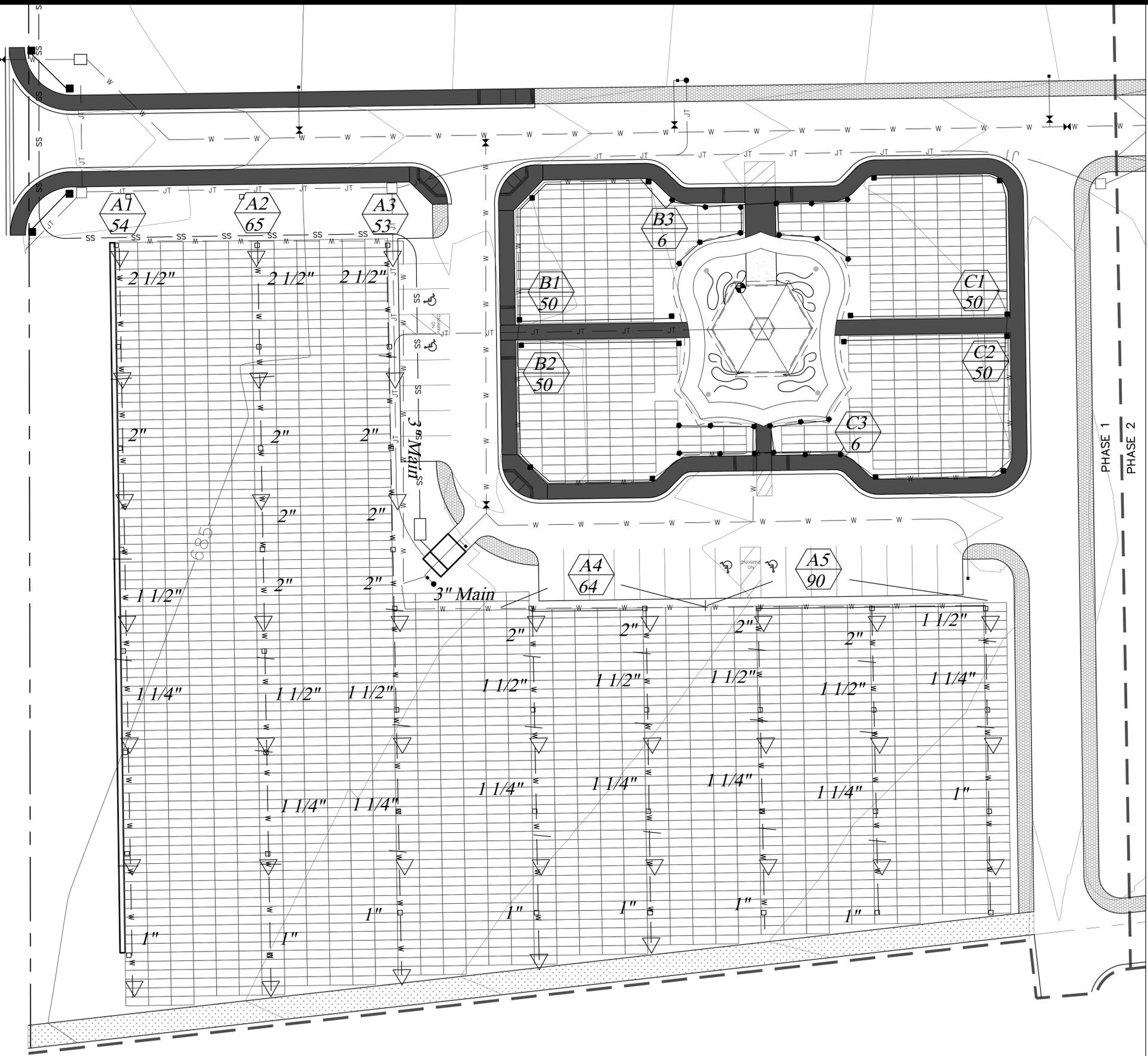
PROS-04-PRS40-CV-R MP ROTATOR SPRINKLER
SCALE: NTS



- 1 FINISH GRADE/TOP OF MULCH
- 2 QUICK-COUPLING VALVE
- 3 VALVE BOX WITH COVER PURPLE IN COLOR
- 4 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- 5 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 6 BRICK (1 OF 2)
- 7 PVC SCH 40 STREET ELL
- 8 PVC SCH 40 TEE OR ELL
- 9 PVC MAINLINE PIPE
- 10 PVC SCH 40 ELL
- 11 2" x 2" REDWOOD STAKE WITH STAINLESS STEEL GEAR SLINGS OF SOLVENT SUPPORT SYSTEM

NOTE: FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE.

QUICK-COUPLING VALVE:



WYATT IRRIGATION SUPPLY INC.

General Notes
Valve, pipe and controller locations are diagrammatic only. Actual locations TBD

— PVC SH 40 size according to flow chart
— 3" PVC SH 40

Submain and lateral pipe sizing

Pipe Size	Max flow GPM	Class or Schedule
1"	12.5	Schedule 40 PVC
1 1/4"	25	Schedule 40 PVC
1 1/2"	34	Schedule 40 PVC
2"	59	Schedule 40 PVC
2 1/2"	75	Schedule 40 PVC
3"	115	Schedule 40 PVC

- 50 Irritrol Irrigation control valve DC powered controllers where no AC
- Hunter I-25-04-SS-R ROTOR
- Drip to pvc transition
- Hunter Pros-4-mpr40-cv-r with MP 1000 or MP 200-90/210
- Hunter I-25-04-SS-R ROTOR
- Rainbird 44NP quick coupler

All irrigation components are assumed to be Reclaimed water labeled and compliant for the potential city reclaimed water expansion project

No.	Revision/Issue	Date

Client Name and Location

Russian River Cemetery

Design #	Sheet 3 of 3
Date 9/12/16	Designed By: Kris Loomis
Scale 1" = 20'	Drawn By: Kris Loomis

GENERAL NOTES

GENERAL REQUIREMENTS:

- All work performed on this project shall conform to the 2001 edition of the C.B.C., U.M.C., U.P.C., and the 2001 edition of the N.E.C., and all applicable Local, State and Federal Codes, Ordinances, Laws, Regulations, and Protective Covenants governing the site of work.
- The Contractor shall provide certificate of insurance acceptable to the Owner prior to the start of the work.
- The Contractor shall verify all dimensions shown herein and notify the Owner of any discrepancies.
- The G.C. shall field verify all dimensions, existing site conditions and utilities prior to the construction.
- The General Contractor is responsible for all construction, demolition means and methods on the project.
The Designer shall not be responsible for how the work is performed, safety, nor negligent acts nor omissions by the Owner, G.C. or their subcontractors on the project.
- The G.C. shall be responsible for locating, maintaining, relocating and/or removal of existing utilities.
- This, and other attached documents, were prepared by the Designer based on the Owner's program requirements, Building Code requirements and Standard Construction Industry Practices. It shall be the sole responsibility of the Owner and G.C. to ensure that all of the work is built in accordance with these documents and applicable building regulations.
- For additional Notes, see Sheet S-1.

SITE WORK:

- No site work is contemplated except the tie-in to the existing sewer lateral, and general clean-up.
- All finish grades to drain away from the building foundations.

CONCRETE:

- Concrete to be machine mixed and placed in accordance with the C.B.C. Section 1905.
- All concrete shall conform to the requirements of ACI 318-99 "Specifications for Structural Concrete for Buildings".
- All concrete shall be 150 pcf hard rock, mixed per ASTM C94, and shall attain a minimum compressive strength of 2,500 psi at 28 days.
- Cement shall conform to ASTM C150, Type II.
- Aggregates shall conform to ASTM C33.
- All slabs shall have a light broom finish except as noted on the drawings.
- Cover for reinforcing steel shall be 2" for footings cast against earth (formed), 3" for footings placed against earth, and 2" for slabs.
- Sleeve plumbing openings in slab before placing concrete and bend reinforcing around sleeves.
- Curing: Curing compound meeting the requirements of ASTM C309, Type I, Class B, with fugitive Dye.

METALS:

- Structural steel and miscellaneous iron shall conform to ASTM A-36.
- Bolt, nuts and screws shall conform to ASTM A-307, Grade "A".
- Galvanizing: Hot-dip galvanizing shall conform to ASTM A-135.

REINFORCING STEEL:

- The fabrication and placement of all reinforcing steel shall conform to CRSI "Manual of Standard Practice" and "CRSI Recommended Practice for Placing Reinforcing Bars".
- Reinforcing Steel shall be deformed billet steel conforming to ASTM A-615, Grade 40 UNO.
- Weld Wire Fabric shall conform to ASTM A-185.
- Smooth wire fabric shall conform to ASTM A-82 with a minimum Fy=65 ksi.
- Reinforcing bars to be welded shall conform to ASTM A706. Welding shall conform to AWS D1.4.
- Lap splices in concrete shall be a minimum of 36 bar diameters, but not less than 24".
- Stagger adjacent splice location at least 24".
- The minimum clear distance between parallel bars shall be at least the diameter of the bar, or 1-1/3 times the coarse aggregate size but in no case less than 2".



VICINITY MAP

DRAWING INDEX:

Sheet	Drawing	Title
1	A1	Title Sheet, Vicinity Map
2	A2	Architectural Notes
3	A3	Floor Plan
4	A4	Christy Castings Details & Specifications
5	A5	Roof Plan
6	A6	Exterior Elevations
7	A7	Roof Framing Plan
8	A8	Castings Details & Columbarium
9	A9	Cross Sections
10	E1	Electrical Plan
11	S1	Structural Notes
12	S2	Foundation Plan & Details
13	S3	Framing Plan & Details
14	S4	Cross Sections
15	S5	Structural Details

--

NO.	REVISION	BY	DATE

ENGINEERING BY:
 NT ENGINEERING
 201715 NAGLER RD
 TRACY, CA 95304
 TEL: (209) - 836 - 0215

DESIGN BY:
 TC Construction
 & Design, INC.
 26800 HANSEN RD
 TRACY, CA 95377
 (209) - 495 - 9090
 C.E.L.B. LIC # B-950915

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SHEET TITLE:
PROJECT RENDERING

PROJECT OWNER:
 Russian River
 Cemetery District
 940 Low Gap Road
 Ukiah, CA 95482

DATE:
 9/25/2016

SCALE:
 NTS

SHEET:
A-1



GERARD STONE COATED STEEL TILE
COLOR: BARCLAY



NEW DAKOTA AKA DAKOTA MAHOGANY GRANITE



GOLDEN GARNET GRANITE



SEAMLESS ALUMINUM GUTTER



SEAMLESS STAMPED CONCRETE

NOTES:

ALL STRUCTURAL COLUMNS TO BE 20'-0" O.C. UNO

REFER TO THE STRUCTURAL CALCULATIONS, PLANS AND DETILS FOR THE STRUCTURAL COLUMNS AND BEAMS SIZES.

ROOF MATERIAL TO BE STEEL TILE AS GERARD CANYON SHAKE, COLOR BARCLAY OVER SBS PAPER, OVER 1X6 T&G KNOTY PINE.

CHRISTY CONCRETE NICHE TO BE INSTALLED AFTER THE STRUCTURAL COLUMNS ARE IN PLACE.

CHRISTY CONCRETE CASTINGS SHALL NOT BEAR ON THE STRUCTURAL COLUMNS.

REFER TO THE STRUCTURAL DETAILS ON HOW TO INSTALL THE CHRISTY CONCRETE NICHE CASTINGS.

THE COLUMBARIUM GRANITE SHUTTERS ARE TO BE INSTALLED WITH THE AEON HARDWARE SYSTEM.

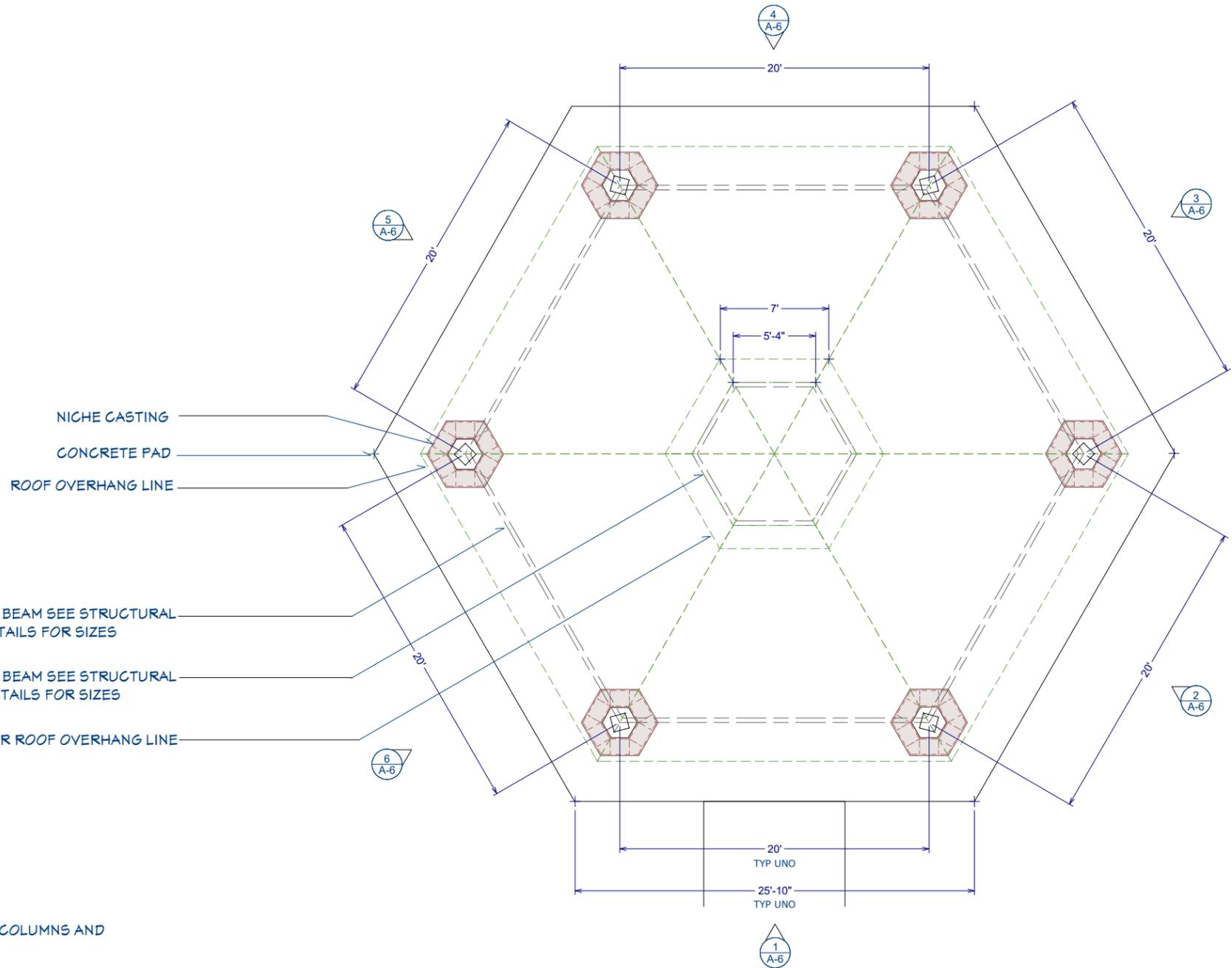
USE TAMPER PROOF SCREWS FOR THE INSTALLATION OF THE SHUTTERS.

GRANITE SHUTTERS TO BE 3/4" GOLDEN GARNET GRANITE.

CASTINGS TRIM TO BE 3/4" NEW DAKOTA GRANITE.

CONCRETE SLAB TO BE STAMPED CONCRETE WITH ACID STAIN AND WET LOOK SEALER.

GUTTER TO BE SEAMLESS RUNS, ALUMINUM POWDER COATED OG PROFILE, COLOR BEAVER BROWN.



--	--

NO.	REVISION	BY	DATE

ENGINEERING BY:
 NT ENGINEERING
 20115 NAGLER RD
 TRACY, CA 95304
 TEL: (209) - 836 - 0215

DESIGN BY:
 TC Construction
 & Design, INC.
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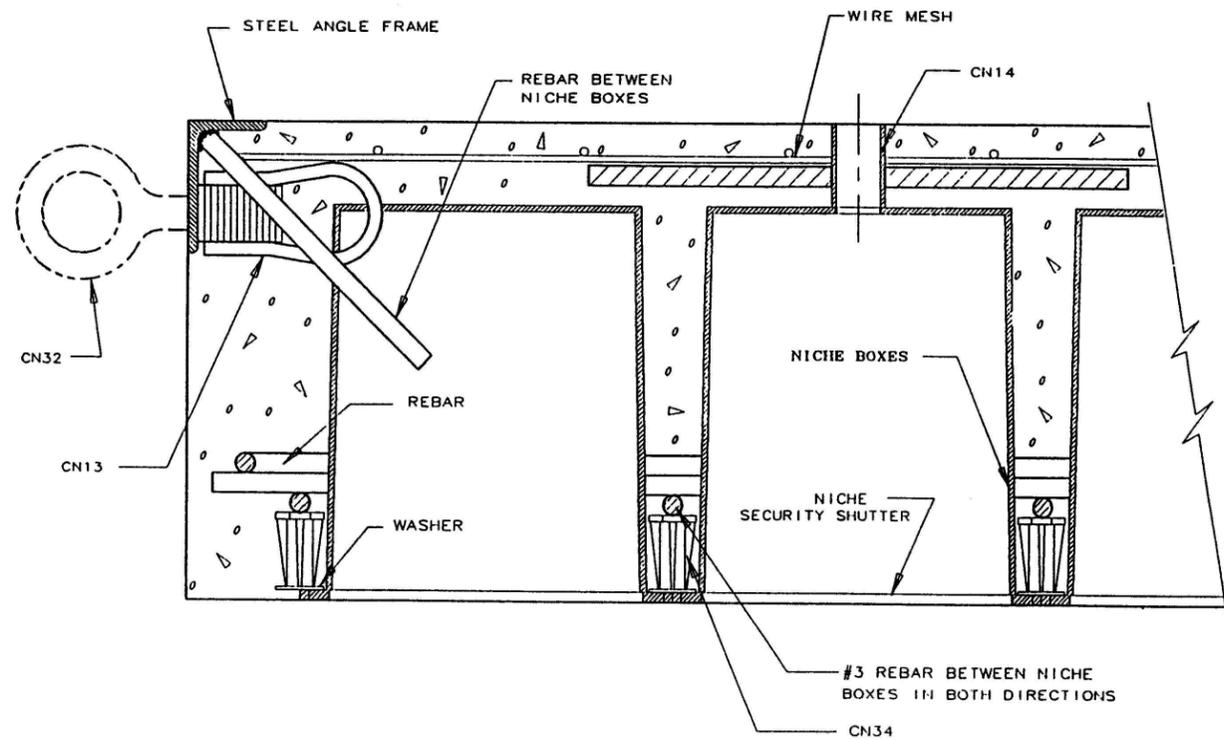
SHEET TITLE:
FLOOR PLAN

PROJECT OWNER:
 Russian River
 Cemetery District
 940 Low Gap Road
 Ukiah, CA 95482

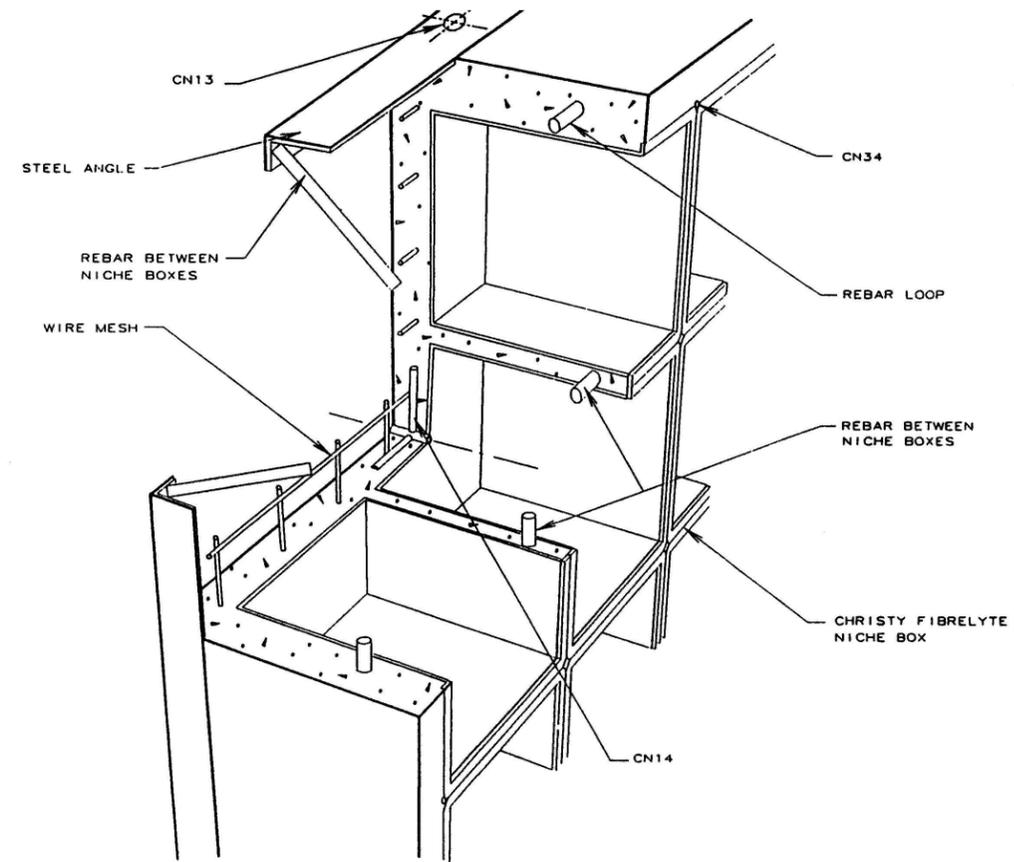
DATE:
 9/25/2016

SCALE:
 1/4"=1'-0"

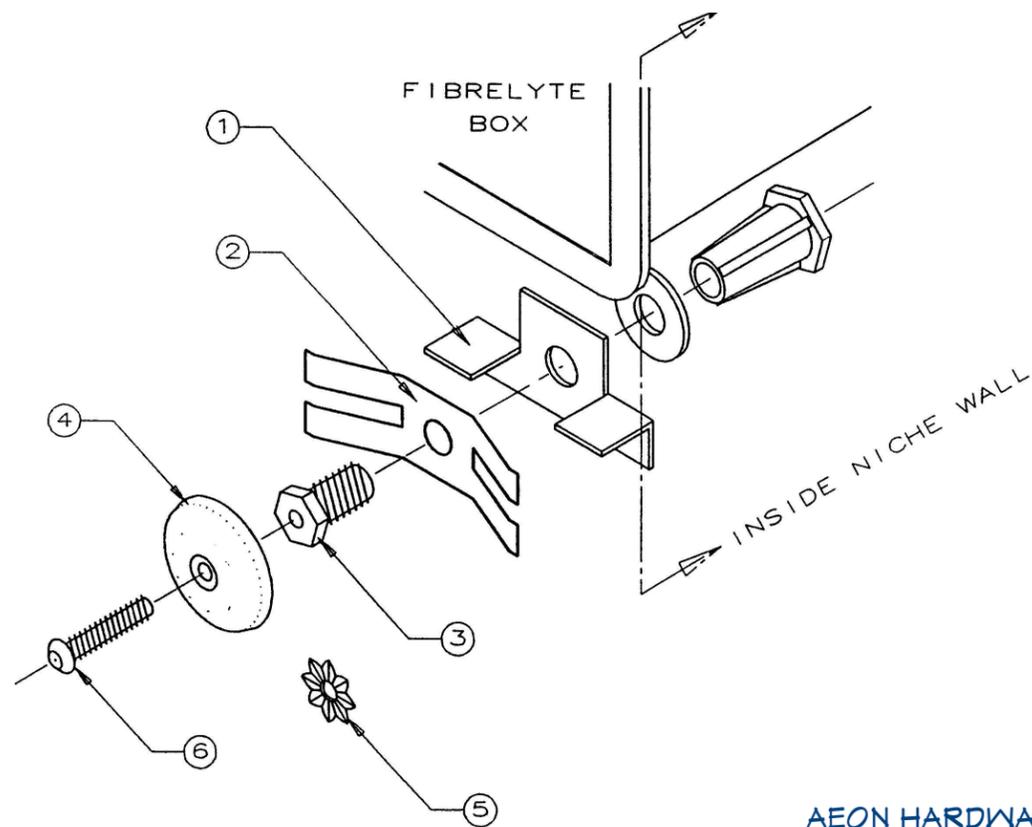
SHEET:
A-3



CHRISTY CASTING CROSS SECTION



CHRISTY CASTING ISOMETRIC WALL CUT



AEON HARDWARE SYSTEM

PRODUCT SPECIFICATIONS:

Concrete
Compressive Strength — 6,000 Pounds per Square Inch (PSI) minimum compression in 28 days

Reinforcement
Rebar - Rebar, 3/8" Diameter, ASTM A-615 6R40
Wire Mesh — 4-4 x 6-6 Gauge
External Steel Angle Frame

FIBRELYTKM Inner Liners
Fibrelyte is a proven polyester pre-mix with calcium carbonate and polyester resins interlaced with fiberglass and ultra-violet inhibitors. Fibrelyte is a durable, state and utility approved, non-combustible material. Christy Niche Fibrelyte Inner Liners and Security Shutters offer high impact strength and protection and are chemically bonded to the concrete to prevent the inner liners from popping out.

Nominal Inside Dimensions

Niche Size	Height	Width	Depth	Cubic inches
Small	5 21/32"	5 21/32"	7 3/32"	227
Medium	9 7/32"	9 7/32"	9 7/8"	839
Large	12 27/32"	12 27/32"	9 13/16"	1,619
Rectangular	12 27/32"	9 7/32"	9 13/16"	1,162

CHRISTY CONCRETE NICHE CASTINGS TO BE INSTALLED AFTER THE STRUCTURAL COLUMNS ARE IN PLACE.

CHRISTY CONCRETE CASTINGS SHALL NOT BEAR ON THE STRUCTURAL COLUMNS.

REFER TO THE STRUCTURAL DETAILS ON HOW TO INSTALL THE CHRISTY CONCRETE NICHE CASTINGS.

THE COLUMBARIUM GRANITE SHUTTERS ARE TO BE INSTALLED WITH THE AEON HARDWARE SYSTEM.

USE TAMPER PROOF SCREWS FOR THE INSTALLATION OF THE SHUTTERS.

CASTINGS SHALL BE 1 NICHE WIDE BY 8 NICHE HIGH.

NO.	REVISION	BY	DATE

ENGINEERING BY:	NT ENGINEERING
	201715 NAGLER RD
	TRACY, CA 95304
	TEL: (209) - 836 - 0215

DESIGN BY:	TC Construction & Design, INC.
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SHEET TITLE:
CHRISTY CASTINGS DETAILS AND SPECIFICATIONS

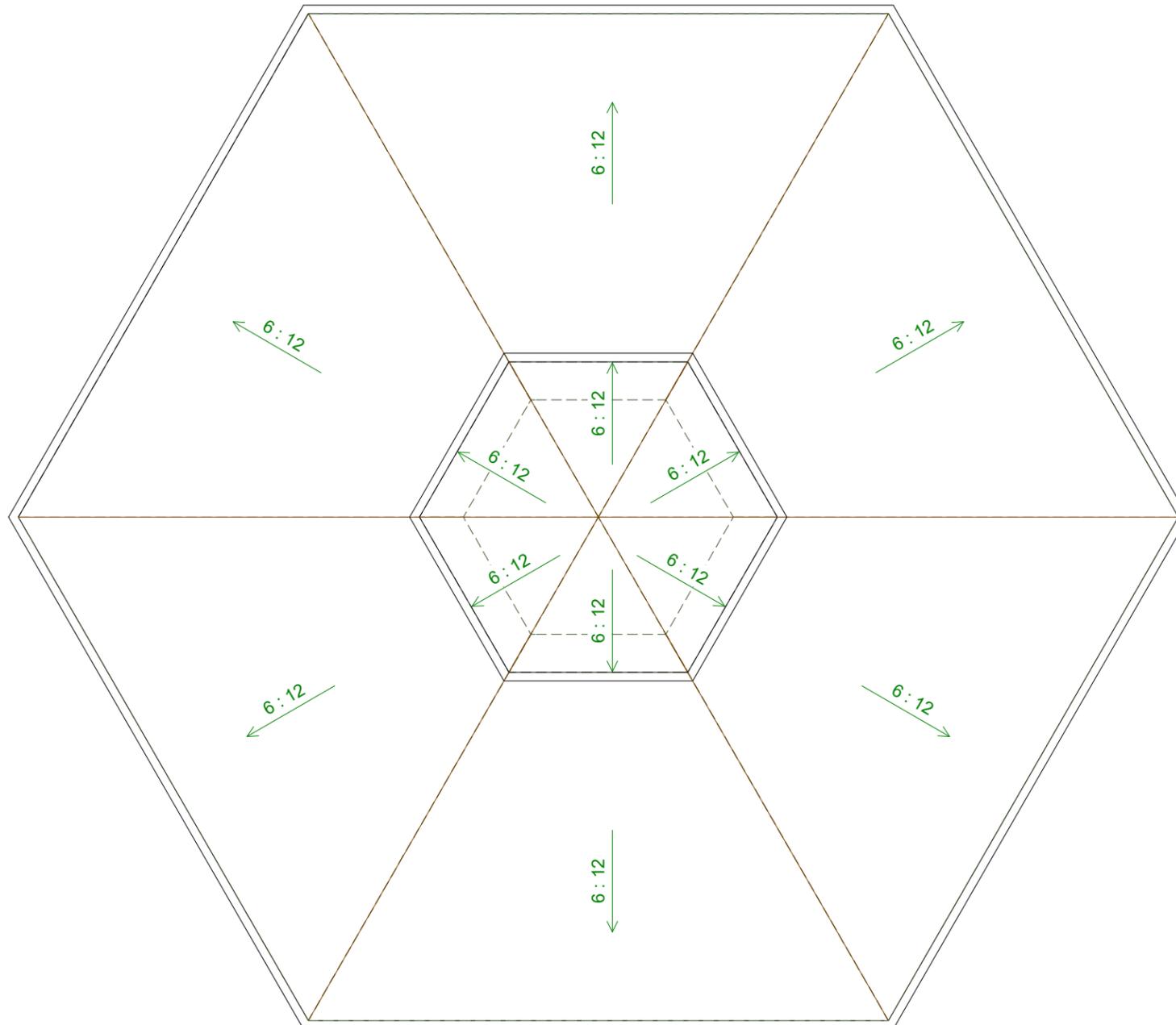
PROJECT OWNER:
Russian River Cemetery District
940 Low Gap Road
Ukiah, CA 95482

DATE:
9/25/2016

SCALE:
NTS

SHEET:

A-4



NOTES:

ROOF TO BE OF STONE COATED STEEL TILE GERARD CANYON SHAKE,

OVER SBS PAPER.

OVER 1 X 6 KNOTTY PINE T&G,

OVER STRUCTURAL BEAMS AND RAFTERS.

REFER TO STRUCTURAL CALCULATIONS, PLANS AND DETAILS FOR NAILING SCHEDULE, AND HARDWARE SPECIFICATIONS.

UPPER ROOF SAME AS MAIN LOWER ROOF.

ROOF COLOR TO BE BARCLAY

GUTTERS TO BE OF ALUMINUM SEAMLESS RUNS, OG PROFILE, COLOR TO BE POWDER COATED BEAVER BROWN

--	--

NO.	REVISION	BY	DATE

ENGINEERING BY:
 NT ENGINEERING
 20115 NAGLEE RD
 TRACY, CA 95304
 TEL: (209) - 836 - 0215

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SHEET TITLE:
ROOF PLAN

PROJECT OWNER:
 Russian River
 Cemetery District
 940 Low Gap Road
 Ukiah, CA 95482

DATE:
 9/25/2016

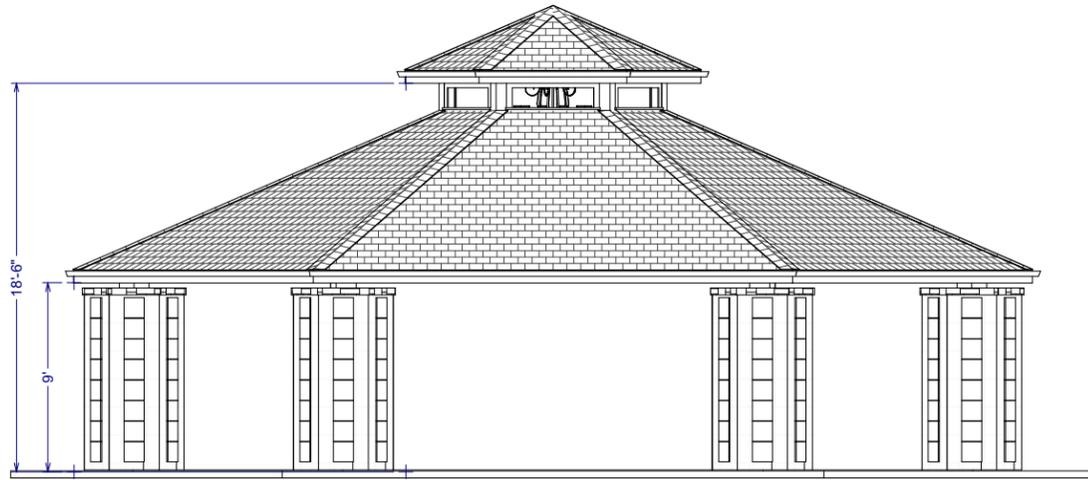
SCALE:
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SHEET:
A-5

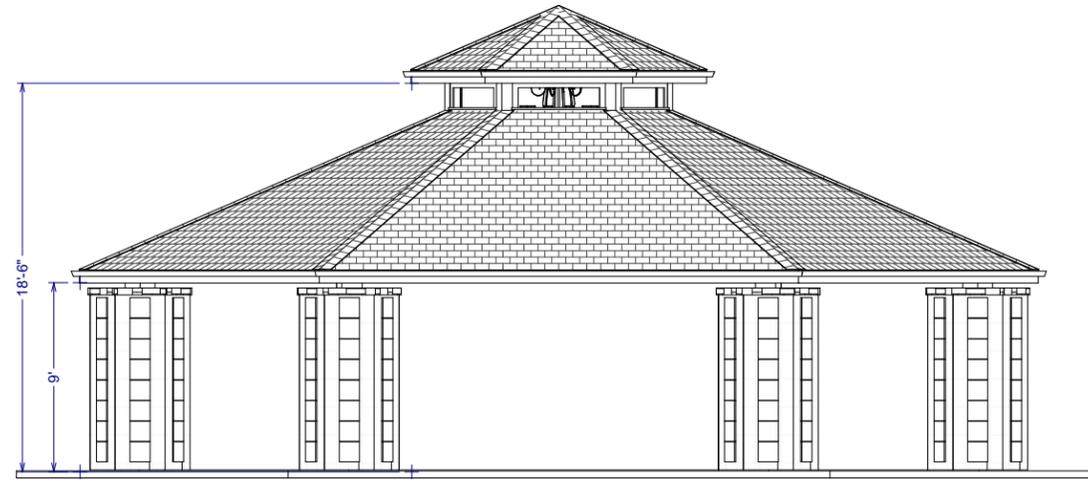
18'-6"
9'-0"
0

18'-6"
9'-0"
0

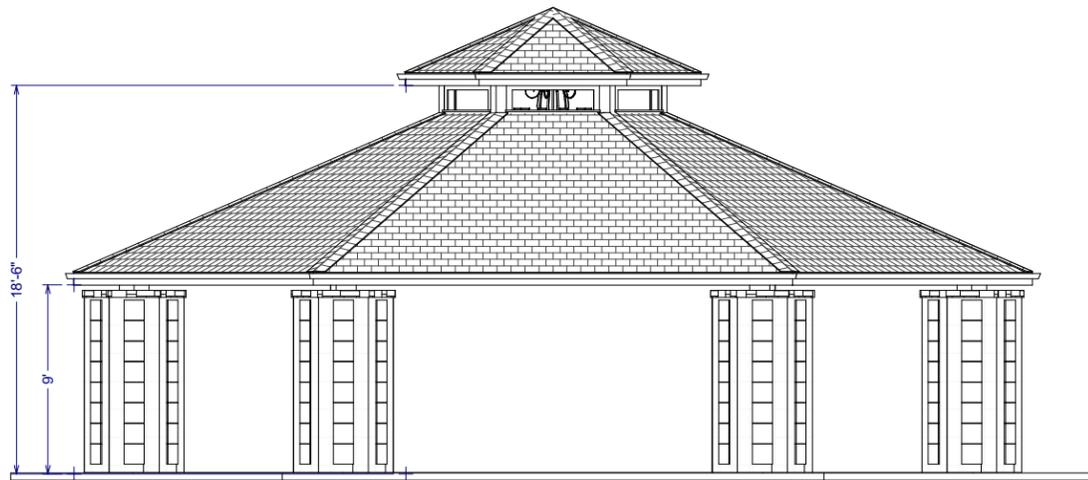
18'-6"
9'-0"
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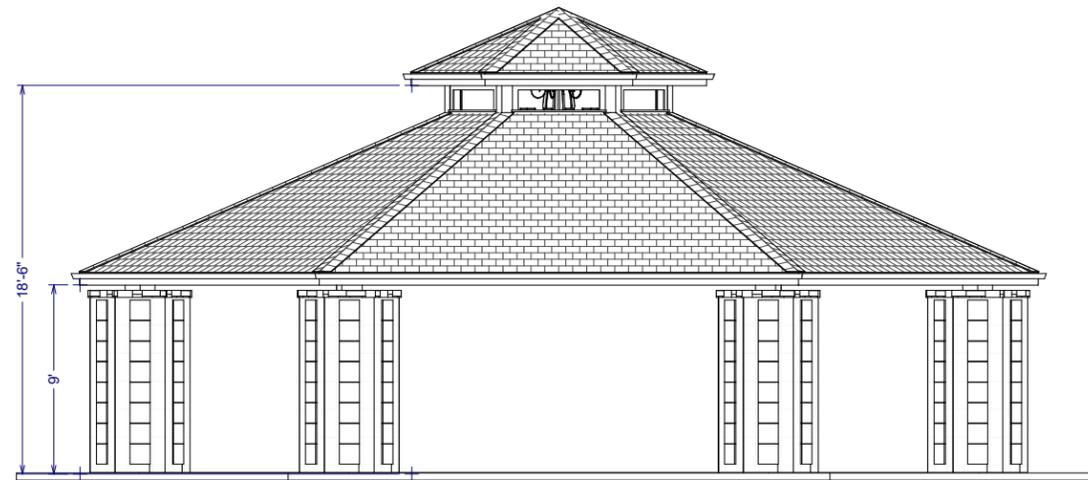
ELEVATION 1



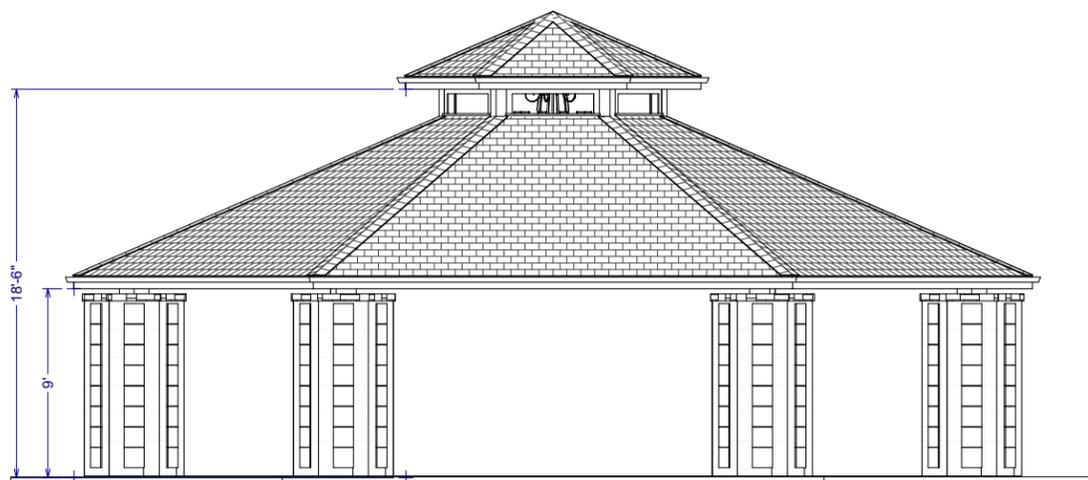
ELEVATION 2



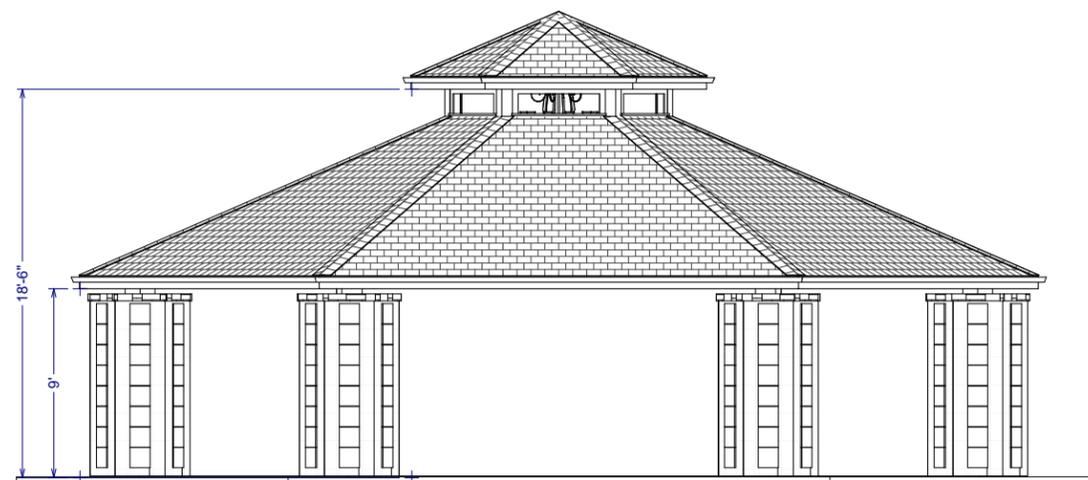
ELEVATION 3



ELEVATION 4



ELEVATION 5



ELEVATION 6

--	--

NO.	REVISION	BY	DATE

ENGINEERING BY:
NT ENGINEERING
20171 S. NAGLEE RD
TRACY, CA 95304
TEL: (209) - 836 - 0215

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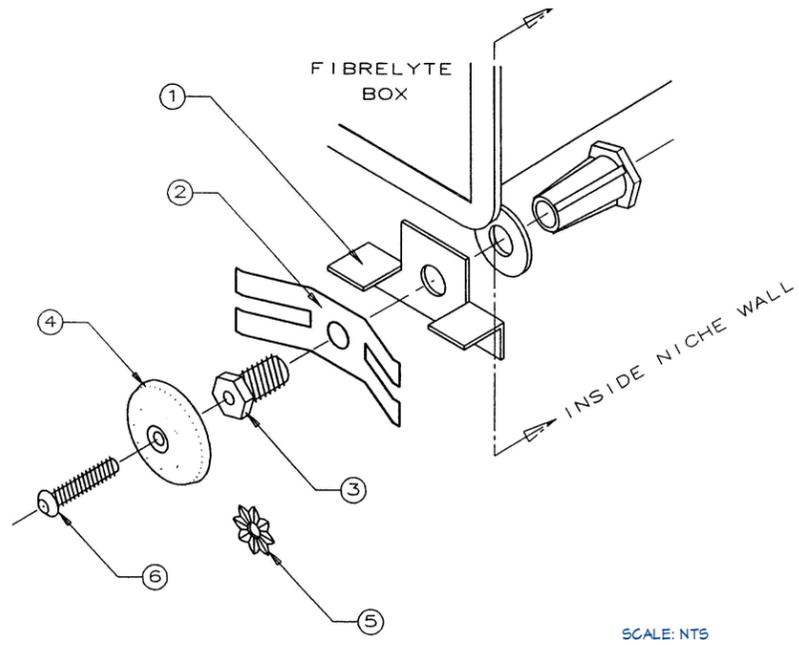
SHEET TITLE:
ELEVATIONS

PROJECT OWNER:
Russian River
Cemetery District
940 Low Gap Road
Ukiah, CA 95482

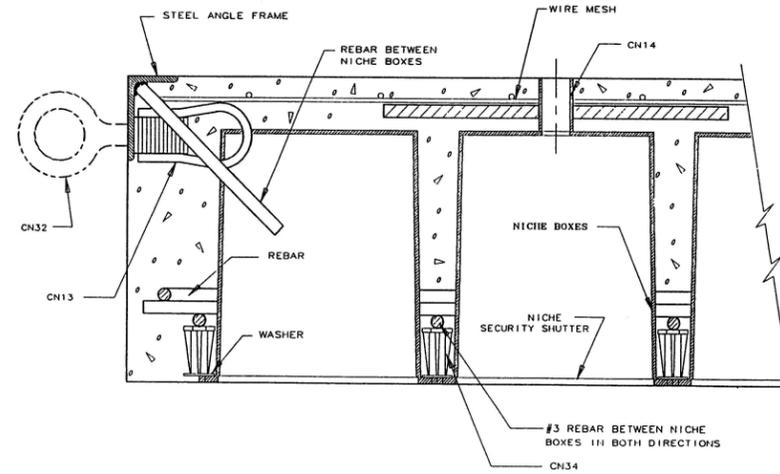
DATE:
9/25/2016

SCALE:
1/4"=1'-0"

SHEET:
A-6



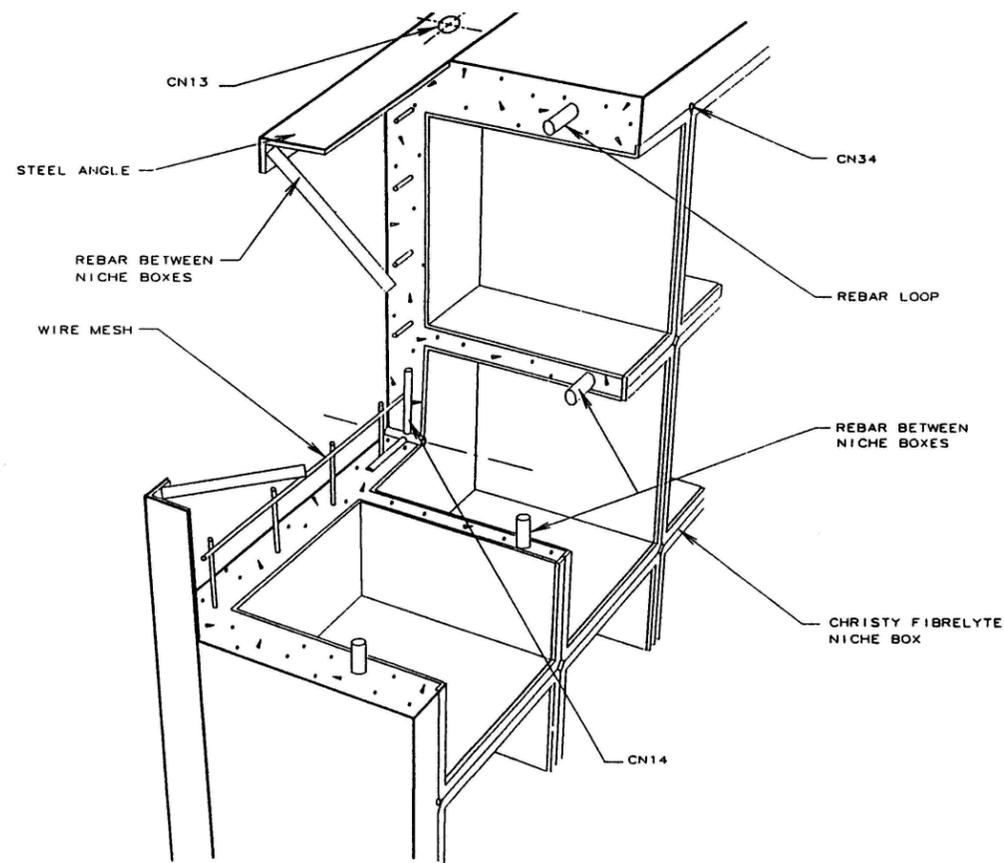
SCALE: NTS



SCALE: NTS

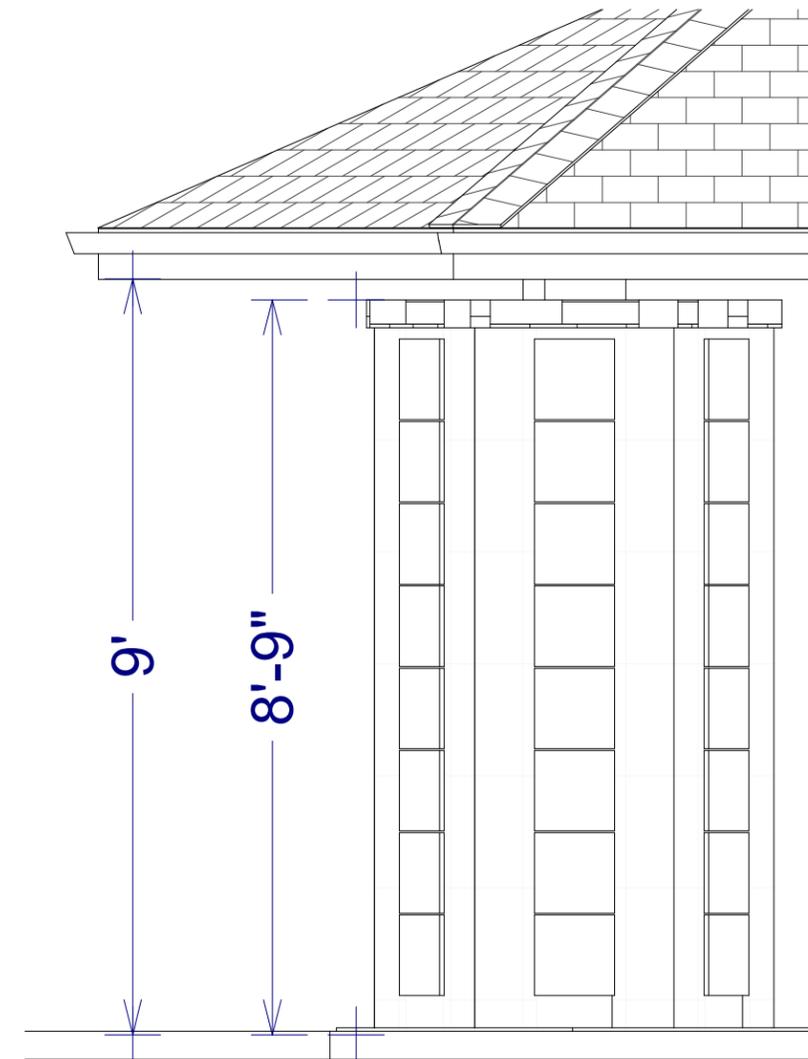
AEON HARDWARE USED TO ATTACH THE STONE

CHRISTY CASTING SECTION



SCALE: NTS

CHRISTY PRE CAST MEDIUM NICHE CASTING CUT AWAY SECTION



SCALE: 1"=1'-0"

CHRISTY PRE CAST MEDIUM NICHE
1 NICHE WIDE BY 8 NICHE HIGH
TO BE CLADED WITH GRANITE

Standard Hardware

Part	Part Number	Description	Qty
1	CN13	Anchor Bolt, 1/2" Dia x 4" Long	1
2	CN14	Steel Angle	1
3	WASHER	1/2" Dia, 1/4" Thick	1
4	REBAR	#3 Rebar, 12" Long	1
5	WASHER	1/2" Dia, 1/4" Thick	1
6	WASHER	1/2" Dia, 1/4" Thick	1

Christy Niche Raw Materials

Part Number	Description
CN13	Anchor Bolt, 1/2" Dia x 4" Long
CN14	Steel Angle
WASHER	1/2" Dia, 1/4" Thick
REBAR	#3 Rebar, 12" Long
WASHER	1/2" Dia, 1/4" Thick
WASHER	1/2" Dia, 1/4" Thick

STONE ATTACHMENT METHOD

CASTING SPECIFICATIONS

NO.	REVISION	BY	DATE

NO.	REVISION	BY	DATE

ENGINEERING BY:
 NT ENGINEERING
 20115 NAGLER RD
 TRACY, CA 95304
 TEL: (209) - 836 - 0215

DESIGN BY:
 TC Construction
 & Design, INC.
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 (209) - 495 - 9090
 CELB LIC # B-550115

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SHEET TITLE:
**NICHE CASTINGS
 PLAN AND DETAILS**

PROJECT OWNER:
 Russian River
 Cemetery District
 940 Low Gap Road
 Ukiah, CA 95482

DATE:
 9/25/2016

SCALE:
 AS SHOWN

SHEET:
A-8



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MINUTES

Regular Meeting

September 22, 2016

Ukiah Civic Center, 300 Seminary Avenue

1. **CALL TO ORDER:** Chair Liden called the Design Review Board meeting to order at 3:10 p.m. in Conference Room #3.

2. **ROLL CALL**

Present: Member Nicholson, Hise, Chair Liden

Absent: Member Hawkes, Morrow

Staff Present: Kevin Thompson, Interim Planning Director
Michelle Johnson, Assistant Planner
Cathy Elawadly, Recording Secretary

Others present: George Rau
Craig Stratman

3. **CORRESPONDENCE:**

4. **APPROVAL OF MINUTES:** The minutes from the September 15, 2016 meeting will be available for review and approval at the next scheduled meeting.

5. **AUDIENCE COMMENTS ON NON-AGENDA ITEMS**

The DRB is required by the City Code to review and make a recommendation on all Site Development Permit applications.

6. **NEW BUSINESS:**

6A. Request for Review and Recommendation on umbrellas for an Outdoor Dining Permit for Chop Chop Restaurant at 110 West Standley Street, APN 002-224-06, File No. Munis 1728

Assistant Planner Johnson:

- Gave a brief background about the outdoor dining permit that was approved in May 2016.
- Talked about the proposed project as provided for on page 1 of the staff report.
- Staff is requesting the DRB review the proposed revision to the initial project.

Craig Stratman, Applicant:

- Is of the opinion the proposed new shade cover provides continuity to the theme, menu, and design of the restaurant and strengthens the perception of the Downtown as providing for diverse and interesting choices for dining and shopping.
- The Standley Street corridor is mixed use, commercial and residential, and Chop Chop is in the middle of the funky, modern and cheap out-of-place design to the east and the nicer more classic design to the west where the intent is to bridge the two design factors and add allure and continuity and style to the block.
- Akin to other iconic destinations, i.e., the Tonga and Trader Vic's in San Francisco, 'modern tiki' brings about a sense that our community can have a culture that is ethnic, fun and a little exotic.

1 **DRB:**

- 2 • Looked at the plot plan concerning the existing outdoor dining permit and example of the
3 proposed product relative to the Palapa Thatch umbrellas and/or Palapa covering.
4

5 **Chair Liden:**

- 6 • Asked if the Palapa umbrellas are fire retardant.
7 • What is the life expectancy of the umbrellas?
8 • Asked about the plan and whether the existing awning will be removed and replaced with
9 the umbrellas? Assumes the corner posts will also be removed.

10
11 **Craig Struttman:**

- 12 • Confirmed the Palapa umbrellas are fire retardant, durable, weather-proof and can
13 endure winds up to 70 mph.
14 • The umbrellas are designed for commercial use and are what restaurants and hotels use.
15 • The umbrellas last for years. The umbrellas come with two tops that can be changed out
16 as necessary should they not look aesthetically pleasing.
17 • Confirmed the existing awning will be removed and replaced with the umbrellas and the
18 corner posts that secure the awning will be removed, i.e., all metal posts will be removed.
19

20 **Member Nicholson:**

- 21 • Likes that the applicant is proposing to replace the existing 12 x 20 feet sun shade with
22 two nine-foot in diameter thatch umbrellas.
23 • Is of the opinion the 'modern tiki' design represents timeless, global tradition and is highly
24 complementary with the style, character and architecture of other buildings in the
25 neighborhood.
26

27 There was discussion about the method of installing the thatch umbrellas onto the outdoor dining
28 area platform.
29

30 There was discussion about the outdoor dining platform and corresponding installation thereof on
31 a City street in compliance with City code and the terms and conditions for encroaching into the
32 City public right-of-way.
33

34 **Member Hise:**

- 35 • Would support approval of the project, but is not pleased with the outdoor dining program
36 as it currently operates and essentially how the City is overseeing them in general.
37 • Finds that having two outdoor dining areas next to one another is not architecturally
38 pleasing, referring to Chop Chop and Saucy's on Standley Street.
39 • Is okay with having outdoor dining areas that are more or less sporadically situated
40 throughout the City rather than situated next to one another.
41 • Is of the opinion the City has taken the wrong approach with regard to the outdoor dining
42 program. There should have been a standard design implemented that every applicant
43 desiring outdoor dining uses such that they all look the same without every outdoor dining
44 establishment feeling they need to have a unique expression of design.
45

46 **Chair Liden:**

- 47 • Has some issue with the fact the outdoor dining establishments for Chop Chop and
48 Saucy's are located right next to each and is what creates the problem for design in
49 general. There are two different outdoor dining themes that happen to be located right
50 next to one another and that is the way it is.
51 • In general, he does like the idea that everyone is taking a unique approach to his/her
52 respective outdoor dining experience. Does like the idea of allowing for unique personal
53 expression around town.
54

1 **DRB Consensus:**

- 2 • Likes the project and recommends approval.
3

4 **Member Hise:**

- 5 • Asked if in the motion to recommend approval of the project if there is anything further
6 staff would like to be included.
7

8 **Assistant Planner Johnson:**

- 9 • Prior to any modifications made to the street with the installation of the thatch umbrellas
10 and/or for any other change to the outdoor dining establishment would need to consult
11 with the Public Works department.
12

13 **M/S Hise/Nicholson** to recommend approval of the proposed project as presented with no
14 conditions. Motion carried (3-0).
15

16 **6.**

17 **6B.** Request for Review and Recommendation on a Minor Site Development Permit to
18 expand the existing grave site area to include: live landscaping and a Niche (memorial)
19 APN 001-020-50, File No.: Munis 2130.
20

21 **Assistant Planner Johnson:**

- 22 • An application was received from Russian River Cemetery District for approval of a Minor
23 Site Development permit to expand the grave site area, add live landscaping and
24 construct an open Memorial Pavilion. The infrastructure is existing so the only new
25 development will be the pavilion.
26

27 **George Rau, Rau and Associates, Applicant Representative:**

- 28 • Commented on the landscaping features and drainage system/features.
29

30 **DRB:**

- 31 • Discussed and reviewed the proposed landscaping plan for the Memorial Pavilion to be
32 located at the Ukiah Cemetery.
33 • It was determined the plans reviewed omitted the building plans and elevation drawings
34 such that the project is not complete for review with a recommendation.
35 • Would like to see a sample board concerning the materials for the pavilion.
36 • The DRB unanimously (3-0) recommended the project come back at a later date to be
37 reviewed as a complete project.
38

39 **7. MATTERS FROM THE BOARD:**

40 **8. MATTERS FROM STAFF:**

41 **9. SET NEXT MEETING**

42 The next regular meeting will be scheduled based on project need.
43

44 **10. ADJOURNMENT**

45 The meeting adjourned at 3:49 p.m.
46
47
48
49

50 _____
Cathy Elawadly, Recording Secretary





City of Ukiah, CA

Design Review Board

MINUTES

1
2
3
4 **Regular Meeting**

October 6, 2016

5
6 **Ukiah Civic Center, 300 Seminary Avenue**

7 1. **CALL TO ORDER:** Chair Liden called the Design Review Board meeting to order at
8 3:10 p.m. in Conference Room #3.

9
10 2. **ROLL CALL** **Present:** Member Hawkes, Morrow, Hise, Chair Liden

11 **Absent:** Member Nicholson

12 **Staff Present:** Michelle Johnson, Assistant Planner
13 Cathy Elawadly, Recording Secretary

14 **Others present:** Jim Johnson, Johnson Custom Landscaping
15 Tony Charondo, TC Construction & Design Inc.
16 Norman Tapia, NT Engineering
17 Norman Tapia, NT Engineering

18
19
20
21
22 3. **CORRESPONDENCE:**

23
24 4. **APPROVAL OF MINUTES:** The minutes from the September 15, 2016 and September
25 22, 2016 meetings will be available for review and approval at the next scheduled
26 meeting.

27
28 5. **AUDIENCE COMMENTS ON NON-AGENDA ITEMS**

29
30 The DRB is required by the City Code to review and make a recommendation on all Site
31 Development Permit applications.

32
33 6. **NEW BUSINESS:**

34 6A. Request for Review and Recommendation on a Minor Site Development Permit to
35 expand the existing grave site area to include: live landscaping and an open Memorial
36 Pavilion at 940 Low Gap Road: (Russian River Cemetery District).

37
38 **Assistant Planner Johnson:**

- 39 • On September 22, 2016 the DRB reviewed the proposed landscaping plan for an open
40 Memorial Pavilion to be located at the Ukiah Cemetery owned by the Russian River
41 Cemetery District. The plans reviewed at the meeting omitted the building plans and
42 elevation drawings and the plans for the pavilion needed to be included as part of the
43 approval of the project so the DRB is meeting today to review the landscaping and
44 pavilion as a complete project.

45
46 **Tony Charondo:**

- 47 • The project is a niche pavilion/columbarium and/or mausoleum for cremations.
- 48 • Referred to the building plans and corresponding design of the pavilion and noted:
 - 49 ▪ The pavilion has six columns and each column will be surrounded by a
 - 50 columbarium more commonly known as niche where people that are cremated
 - 51 are placed as their final interment.

- 1 • The pavilion will provide shade and shelter from the weather for the people
2 visiting their loved ones.
3 • The pavilion will also allow the cemetery to hold services.
4 • Benches will be placed in the pavilion so people can sit.
5

6 **Member Hise:**

- 7 • Referred to the building plans and inquired whether the 'golden garnet granite' colored
8 boxes contain the ashes of people.
9 • Requested clarification the opening part of the boxes face outward.
10 • Would like to see less color contrast for the granite shutters that are light in color (golden
11 garnet granite) and the corresponding castings that are of a dark color (New Dakota aka
12 Dakota Mahogany Granite).
13

14 **Chair Liden:**

- 15 • Asked about the roof and application of 'shingle lab.'
16 • Asked about the material for the floor.
17 • Asked if the landscaping for the pavilion will be installed after the structure is built?
18 • Asked about the sidewalk that goes around the pavilion and corresponding shape.
19

20 **Tony Charondo:**

- 21 • Referred to the project rendering, Sheet A-1 and floor plan of the building plans, sheet A-
22 3 and confirmed the boxes are granite shutters to be 3/4" Golden Garnet Granite and
23 explained how these boxes will be integrated into casings trim to be 3/4" New Dakota
24 Granite in the six columns. The columbarium granite shutters are to be installed with
25 aeon hardware system. Confirmed the boxes would face outward and explained how this
26 works. The boxes are removable when it is time for interment and remains placed inside
27 and secured into the aeon hardware system.
28 • Referred to the design of the pavilion and talked more about the granite shutters, niche
29 castings, and hardware structure and/or all other structural components as to how the
30 pavilion is designed to work.
31 • The pavilion has a roof that overlaps and referred to building plans, Sheet A-5 and A-7.
32 • The pavilion will feature no lighting or signs.
33 • The floor is a concrete slab to be stamped concrete with acid stain and wet look sealer.
34 • Specifically, site plan sheet A-4 shows the Christy castings details and specifications,
35 and sheet A-8 shows the Niche castings plan and detail.
36

37 **Member Hawkes:**

- 38 • Asked if the plantings and irrigation features/system are part of the project plans?
39 • Referred to the building plans and related area immediately located next to the pavilion
40 and asked if this would be used as potential grave sites.
41

42 **Jim Johnson:**

- 43 • Confirmed he will install the landscaping for the pavilion after it is constructed and noted
44 there is not a tremendous amount of live plantings and is designed to be low
45 maintenance.
46 • Acknowledged the sidewalk that goes around the pavilion is in the symbol and/or shape
47 of a police badge because the intent of the pavilion was to dedicate it to policemen and
48 firemen and it is for public use.
49 • Confirmed the plantings and irrigation plans are part of the pavilion project.
50 • Confirmed beyond the pavilion and badge shaped sidewalk everything else are grave
51 sites and demonstrated the location on the site plan.
52

53 There was a general discussion about the layout/configuration of the cemetery in general in
54 connection with the immediate areas located to the north, northwest and northeast that include

1 residential, vineyards and schools. Also, talked about the existing infrastructure in and around the
2 pavilion.

3
4 **Jim Johnson:**

- 5 • Acknowledged the northwest corner of the subject property is residential and showed the
6 location of a row of trees that were recently planted in this area. The trees were planted
7 in anticipation of the new pavilion.

8
9 **Assistant Planner Johnson:**

- 10 • There will be no trees around the pavilion.

11
12 **Member Hawkes:**

- 13 • Asked what the scope of the project entails?

14
15 **Assistant Planner Johnson:**

- 16 • The scope of the project includes the landscaping and pavilion structure and/or just the
17 rectangular area as shown on the site plans.
- 18 • The only item the DRB is approving today is the pavilion and the landscaping around it.
- 19 • The project will be reviewed by the Zoning Administrator.

20
21 **Member Hawkes:**

- 22 • Is fine with the project.

23
24 **Member Hise:**

- 25 • While the materials for the shutters and castings are quality, the contrast between the two
26 color schemes for the granite material makes the columns looked 'striped.' If Dakota
27 Mahogany granite were used in conjunction with a color scheme other than Golden
28 Garnet Granite, the appearance would be more harmonious where all the other colors for
29 the building would blend better aesthetically.
- 30 • Asked about why the window frames on top of the pavilion are white instead of a darker
31 color. The trim for the window would be more aesthetically pleasing and complimentary to
32 the building if color was of a darker shade.
- 33 • The Dakota Mahogany granite relative to the shutter comes in a 'flame' finish which is
34 fairly rough. Could do a 'flamed and polish' finish interchangeably and this would be a
35 subtle transition or use a polished Dakota Mahogany and flamed granite for the shutters.
36 This would provide for a sophisticated appearance. This is only a suggestion. Is of the
37 opinion if the colors were less contrasting the columns would not be so definitively
38 striking in appearance and would be more subtle.
- 39 • Would recommend changing out the white paint on the window trim for a color that is
40 more harmonious.
- 41 • Supports using flamed granite because it gives the material texture and does not reflect.
42 Understands this may be problematic with graffiti and cleaning it. Unlike polished finish
43 flamed is actually a rough finish.

44
45 **Norman Tapia:**

- 46 • Asked about the timeline once the project was approved.

47
48 **Assistant Planner Johnson:**

- 49 • The next step is a public hearing by the Zoning Administrator.

50
51 **Tony Charondo:**

- 52 • The problem with a flamed granite finish is that it is not very easy to maintain because of
53 water spots and the like. When the granite is polished this pretty much seals the surface
54 of the granite so anything from acid rain to sprinkling water and/or anything that gets

- 1 splattered is easy to wipe off. When the stone is clear the porous parts are open making
2 it easy to wipe off.
- 3 • He is a general contractor and his company builds mausoleums/columbariums all over
4 the world.
 - 5 • 99% of the projects his company does are two-toned colors where there is a clear
6 contrast between the shutters and the rest of the trim. If the wall happens to be too long
7 finds it necessary to break up the monotony with vertical trims that are totally different
8 than the shutters. The intent is to make the shutters clearly visible because this is where
9 the remains of the person go.
 - 10 • Flamed granite is difficult to clean.

11
12 **Member Morrow:**

- 13 • Is there some reason for having the white frames for the windows and/or breeze-ways.
14 Would recommend a color that matches at least the gray of the gutters.
- 15 • Does not have any strong opinions concerning the proposed project.

16
17 **Tony Charondo:**

- 18 • The white vinyl for the window trim comes in different colors, such as almond.
- 19 • The intent was to construct a pavilion that requires little maintenance.
- 20 • Showed examples of other pavilions his company has constructed.

21
22 **DRB** is fine with the proposed landscaping, as presented.

23
24 **M/S Hawks/Morrow** The DRB likes the plan and recommends Zoning Administrator approval of
25 the Minor Site Development Permit to expand the existing grave site area to include: live
26 landscaping and an open Memorial Pavilion at 940 Low Gap Road: (Russian River Cemetery
27 District) with recommended comments as follows: 1) window trim be a darker color to contrast
28 less; 2) Columns should not have such a definitive striped appearance having less contrast. The
29 DRB accepts the landscaping plan, as submitted. Motion carried (4-0).

30
31 **Assistant Planner Johnson:**

- 32 • Provided an update on the Chop Chop outdoor dining permit:
 - 33 ▪ While Craig Strattman, owner of Chop Chop, still intends to install the thatch
34 umbrellas as approved by the DRB at the September 22, 2016 meeting he
35 proposes a temporary solution for the interim until next spring. He would like to
36 replace the existing shade cover with 'Apontus Market Patio Umbrella Tilt with
37 Crank 9' Red: Patio, Lawn & Garden' and is researching this product that is sold
38 on Amazon.com.
 - 39 ▪ The plan is to remove the existing shade cover and install the new umbrellas as
40 soon as possible.

41
42 **DRB** is fine with the aforementioned temporary solution.

43
44 **7. MATTERS FROM THE BOARD:**

45
46 **8. MATTERS FROM STAFF:**

47
48 **9. SET NEXT MEETING**

49 The next regular meeting will be scheduled based on project need.

50
51 **10. ADJOURNMENT**

52 The meeting adjourned at 4:19 p.m.

53
54
55 _____
Cathy Elawadly, Recording Secretary